



BUCKLEY CITY COUNCIL MEETING AGENDA
October 22, 2019
Multi-Purpose Center, 811 Main Street
City Council Meeting
Opening 7:00 P.M.

Call to Order
Pledge of Allegiance
Roll Call of Council Members

Next Ordinance #20-19
Next Resolution #19-07
Next Agenda Bill #AB19-101

A. Citizen Participation

Time Limit of Three Minutes (Citizens wishing to speak are encouraged to sign up at City Hall by Wednesday prior to the Council Meeting)

B. Staff Reports

C. Main Agenda

- | | | |
|----|--|--------|
| 1. | Public Hearing: Amending 2018 Comprehensive Water System Plan | Pg. 8 |
| 2. | ORD No. ____-19: Amending 2018 Comprehensive Water System Plan | Pg. 10 |
| 3. | RES No. 19-__: Fixing a Time for Public Hearing for City Initiated Street Vacation | Pg. 14 |
| 4. | RES No. 19-__: Converting Parcels to Public Right-of-Way (River Avenue) | Pg. 17 |
| 5. | Bigfoot Java Design Review | Pg. 35 |

D. Consent Agenda

- | | | |
|----|---------------------------------------|--------|
| 6. | A. Approve Minutes of October 8, 2019 | Pg. 74 |
| | B. Claims | |
| | C. Transfer Voucher | |
| | D. Payroll | |

E. Committee Reports

- | | | |
|-----|---|------------|
| 7. | Mayor's Report | Johnson |
| 8. | Administration, Finance & Public Safety | Tremblay |
| 9. | Transportation & Utilities | B. Burkett |
| 10. | Community Services | S. Burkett |
| 11. | Council Member Comments & Good of the Order | |

Council may add and take action on other items not listed on this agenda



CITY OF BUCKLEY ♦ PO BOX 1960 ♦ BUCKLEY, WA 98321
360-829-1921 ♦ Fax 360-829-2659 ♦ <http://www.cityofbuckley.com>

CITY OF BUCKLEY MEETING LIST

October 2019

Oct. 17	1:00 PM	Community Services (City Hall)
Oct. 21	7:00 PM	Planning Commission
Oct. 22	9:30 AM	Admin/Finance/Public Safety (City Hall)
Oct. 22	7:00 PM	City Council
Oct. 29	6:30 PM	City Council Budget Workshop (Special Meeting and Time)

November 2019

Nov. 4	7:00 PM	Planning Commission
Nov. 5	6:30 PM	City Council Budget Workshop (Special Time)
Nov. 12	9:30 AM	Admin/Finance/Public Safety (City Hall)
Nov. 12	7:00 PM	City Council
Nov. 18	7:00 PM	Planning Commission
Nov. 19	7:00 PM	Transportation & Utilities (City Shop)
Nov. 21	1:00 PM	Community Services (City Hall)
Nov. 26	9:30 AM	Admin/Finance/Public Safety (City Hall)
Nov. 26	7:00 PM	City Council

The above meetings will be held in the Multi-Purpose Center located at 811 Main Street unless otherwise noted.
Last Revised October 17, 2019



October 2019

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1 7 City Council Study Session- CANCELLED	2	3	4	5
6	7 7 Planning Commission	8 9:30 A/F/PS 7 City Council	9	10	11	12
13	14 10:30 Buckley Hall Board	15 7 Transp. & Utilities	16	17 1 Community Services	18	19
20	21 7 Planning Commission	22 9:30 A/F/PS 7 City Council	23	24	25	26
27	28	29 6:30 City Council Budget Workshop	30	31 		

November 2019



Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4 7 Planning Commission	5 6:30 City Council Budget Workshop	6	7	8	9
10	11  City Offices Closed	12 9:30 A/F/PS 7 City Council	13	14	15	16
17	18 7 Planning Commission	19 7 Transp. & Utilities	20	21 1 Community Services	22	23
24	25	26 9:30 A/F/PS 7 City Council	27	28  City Offices Closed	29	30

A. CITIZEN PARTICIPATION

B. STAFF REPORTS

C. MAIN AGENDA



CITY COUNCIL AGENDA BILL

City of Buckley
PO Box 1960
Buckley, WA 98321

ITEM INFORMATION			
SUBJECT: Public Hearing: Amending 2018 Comprehensive Water System Plan Cost Impact: N/A Fund Source: N/A Timeline: N/A	Agenda Date: October 22, 2019		AB19-101
	Department/Committee/Individual	Created	Reviewed
	Mayor Pat Johnson		X
	City Administrator – Dave Schmidt		X
	City Attorney – Phil Olbrechts		
	City Engineer – Dominic Miller		
	City Clerk – Treva Percival	X	X
	Finance Dept – Saundra Groshong		
	Building Official – Mike Deadmond		
	Fire Dept – Chief Predmore		
	Parks & Rec Dept – Kevin Caviezel		
	Planning Dept – Leticia Wallgren		
	Police Dept – Chief Arsanto		
	Municipal Court – Jessica Cash		
	PW/Utilities – Chris Banks		
Attachments: Public Hearing Notice			
<p>SUMMARY STATEMENT: The City adopted a new water system plan in March 2018. However; shortly after adopting the plan, staff identified two adjoining properties currently being served water from the City’s system were not included in the service area boundaries. The City also received a request for service from a property owner which is adjacent to the two parcels already identified. This public hearing is being held to hear comment regarding Amending the 2018 Comprehensive Water System Plan to include these three properties.</p>			
COMMITTEE REVIEW AND RECOMMENDATION: N/A			
RECOMMENDED ACTION: Public Hearing Only			
RECORD OF COUNCIL ACTION			
<i>Meeting Date</i>	<i>Action</i>	<i>Vote</i>	
10/22/2019	Public Hearing Only		



City of Buckley

P.O. Box 1960 ♦ Buckley, WA 98321 ♦ (360) 829-1921 ext. 7801

NOTICE OF PUBLIC HEARING CITY COUNCIL AMENDING THE 2018 COMPREHENSIVE WATER SYSTEM PLAN REGARDING THE CITY WATER SERVICE AREA

NOTICE IS HEREBY GIVEN that the Buckley City Council has scheduled a Public Hearing shortly after 7:00 PM on **Tuesday, October 22, 2019**, at the Buckley Multipurpose Building at 811 Main Street, Buckley. The purpose of the Public Hearing is to solicit public input and comment from interested individuals or groups regarding amending the 2018 Comprehensive Water System Plan Regarding the City Water Service Area.

Each person wishing to speak at this Public Hearing will take the podium, clearly state their name and full address for the record, and will be allowed three (3) minutes in which to voice their comments and/or concerns on the matter at hand. Speakers are asked to avoid repetitious or irrelevant comments, and personal attacks will not be tolerated. **Questions will not be taken at this time.** If you have any questions, please contact the City as indicated below, in advance of the Public Hearing.

Buckley does not discriminate on the basis of disabilities. If you need special accommodation, please contact City Hall within three business days prior to the Public Hearing at 360-761-7801.

Comments may be presented orally at the Public Hearing or be submitted in writing to the City of Buckley, PO Box 1960, Buckley, WA 98321, or by email at city@cityofbuckley.com, prior to 5:00 PM on Monday, **October 21, 2019**. Copies of the Revised Water Service Area being considered will be available at City Hall on Thursday, October 17, 2019. **Questions may be answered by contacting City staff at 360-761-7801.**

DATED this 1st day of October 2019.

Posted: October 1, 2019

Published October 9, 2019



CITY COUNCIL AGENDA BILL

City of Buckley
PO Box 1960
Buckley, WA 98321

ITEM INFORMATION			
SUBJECT: ORD No. ____-19: Amending the 2018 Comprehensive Water System Plan Cost Impact: N/A Fund Source: N/A Timeline: N/A	Agenda Date: October 22, 2019		AB19-102
	Department/Committee/Individual	Created	Reviewed
	Mayor Pat Johnson		X
	City Administrator – Dave Schmidt		X
	City Attorney – Phil Olbrechts		X
	City Engineer – Dominic Miller		
	City Clerk – Treva Percival	X	X
	Finance Dept – Saundra Groshong		
	Building Official – Mike Deadmond		
	Fire Dept – Chief Predmore		
	Parks & Rec Dept – Kevin Caviezel		
	Planning Dept – Leticia Wallgren		
	Police Dept – Chief Arsanto		
	Municipal Court – Jessica Cash		
	PW/Utilities – Chris Banks		
Attachments: Ordinance			
<p>SUMMARY STATEMENT: Pursuant to State Law, the City adopted a Comprehensive Water Plan in 2018. However, shortly after adopting the plan, staff identified two adjoining properties currently being served water from the City’s system that were not included in the service area boundaries. The City also received a request from a property owner of Tax Parcel 0619103011 which is adjacent to the other two parcels (0619103005 and 0619103012). Tax parcel 0619103011 is not presently within the service are of any purveyor and is considered as being in an underserved area.</p> <p>Pursuant to RCW 70.116.060(6), Staff is asking the City Council to amend the 2018 Comprehensive Water System plan to incorporate these three parcels into the systems service area boundaries.</p>			
COMMITTEE REVIEW AND RECOMMENDATION:			
RECOMMENDED ACTION: MOVE to Approve Ordinance No. 20-19 Amending the 2018 Comprehensive Water System Plan.			
RECORD OF COUNCIL ACTION			
<i>Meeting Date</i>	<i>Action</i>	<i>Vote</i>	

CITY OF BUCKLEY, WASHINGTON

ORDINANCE NO. ____-19

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BUCKLEY,
PIERCE COUNTY, WASHINGTON AMENDING THE 2018
COMPREHENSIVE WATER SYSTEM PLAN REGARDING THE CITY
WATER SERVICE AREA.**

WHEREAS, the Public Water System Coordination Act of 1977, RCW 70.116 and WAC 246-290-100 require that each purveyor within the boundaries of a critical water supply service area develop a water system plan for the purveyor's future service area; and

WHEREAS, WAC 246-290-100 provides that the purveyor shall update the plan and obtain department approval at least every ten (10) years; and

WHEREAS, the City adopted a new updated water system plan in March, 2018; and

WHEREAS, shortly after adoption City staff identified that two adjoining properties currently being served water from the City's system were not included in the service area boundaries. These properties are identified as Pierce County Tax Parcel Numbers 0619103005 and 0619103012; and

WHEREAS, the City received a request for service from a property owner of Tax Parcel 0619103011 which is adjacent to the two parcels identified above; and

WHEREAS, Tax Parcel 0619103011 is not presently within the service area of any purveyor and is considered as being in an underserved area; and

WHEREAS, pursuant to RCW 70.116.060(6) the City Council desires to amend the 2018 Comprehensive Water System Plan to incorporate these three parcels into the systems service area boundaries; and

WHEREAS, an update/amendment to the water system plan must be reviewed by the City Council to insure that the plan is not inconsistent with the land use plans, shoreline master programs, and/or developmental policies of the general purpose local government or governments whose jurisdiction the water system plan affects; and

WHEREAS, City staff certifies that the amended 2018 Comprehensive Water System Plan is consistent with the land use plans, shoreline master programs, and/or developmental policies of the City; and

WHEREAS, the Transportation & Utilities Committee reviewed the amended 2018 Comprehensive Water System Plan and recommends that the City Council adopt the Plan; and

WHEREAS, the City Council conducted a public hearing on October 22, 2019 to solicit public input and comment from interested individuals or groups on the water system plan amendment; and

WHEREAS, the amended Comprehensive Water System Plan is exempt from SEPA review; and

WHEREAS, the City Council concurs with the Transportation & Utilities Committee's recommendation and desires to adopt the amended water system plan and service boundary area; now, therefore

NOW THEREFORE THE CITY COUNCIL OF THE CITY OF BUCKLEY DOES NOW ORDAIN AS FOLLOWS:

Section 1. The "2018 Comprehensive Water System Plan" dated August 30, 2017 "as amended" is hereby adopted by reference.

Section 2. Severability. If any provision or portion of this Ordinance is held invalid, such invalidity shall not affect any other provision, or the application thereof, which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are declared to be severable.

Section 3. This Ordinance shall be in full force and effect five days from and after its passage, approval and publication as provided by law.

Introduced, passed, and approved this 22nd day of October 2019.

Pat Johnson, Mayor

ATTEST:

Treva Percival, City Clerk

APPROVED AS TO FORM:

Phil Olbrechts, City Attorney

POSTED: _____

PUBLISHED: _____



CITY COUNCIL AGENDA BILL

City of Buckley
PO Box 1960
Buckley, WA 98321

ITEM INFORMATION			
SUBJECT: RES No. 19-___ Fixing a Time for Public Hearing City Initiated Street Vacations Cost Impact: N/A Fund Source: N/A Timeline: N/A	Agenda Date: October 22, 2019		AB19-103
	Department/Committee/Individual	Created	Reviewed
	Mayor Pat Johnson		X
	City Administrator – Dave Schmidt		X
	City Attorney – Phil Olbrechts		X
	City Engineer – Dominic Miller		X
	City Clerk – Treva Percival	X	X
	Finance Dept – Sandra Groshong		
	Building Official – Mike Deadmond		
	Fire Dept – Chief Predmore		
	Parks & Rec Dept – Kevin Caviezel		
	Planning Dept – Leticia Wallgren		
	Police Dept – Chief Arsanto		
	Municipal Court – Jessica Cash		
	PW/Utilities – Chris Banks		
Attachments: Resolution			
SUMMARY STATEMENT: Pursuant to BMC 13.25.020, the City desires to initiate vacation of portions of River Avenue, Ryan Rd, and SR165 that are remnants of the SR165/SR410/Ryan Rd/112 th St. E. Realignment Project and River Avenue Reconstruction Project that are no longer in use as public right-of-way. This Resolution sets the Public Hearing date and time for the Council to hear comment regarding these right-of-way vacations.			
COMMITTEE REVIEW AND RECOMMENDATION:			
RECOMMENDED ACTION: MOVE to Approve Resolution No. 19-07, Fixing a Time for a Public Hearing on City Initiated Street Vacations			
RECORD OF COUNCIL ACTION			
Meeting Date	Action	Vote	

RESOLUTION NO. 19-__

BUCKLEY, WASHINGTON

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BUCKLEY, PIERCE COUNTY, WASHINGTON FIXING A TIME FOR A PUBLIC HEARING ON THE CITY INITIATED STREET VACATION OF PORTIONS OF RIVER AVENUE, RYAN RD AND SR165 NO LONGER IN USE AS PUBLIC RIGHT-OF-WAY.

WHEREAS, pursuant to BMC 13.25.020 the City Council desires to initiate vacation of portions of River Avenue, Ryan Rd and SR165 that are remnants of the SR165/SR410/RyanRd/112th St E Realignment Project and River Avenue Reconstruction Project that are no longer in use as public right-of-way;

WHEREAS, the portions to be vacated consists of fourteen separate remnants totaling approximately 69,624 square feet in area of right-of-way abutting parcels #0619091-034, #9540100-353, #9540100-354, #0619033-036, #0619037-003, #0619037-011, #9540100-352, #9540100-386, #9540100-385, #9540100-384, #8000050-210, #8000050-220, #8000050-200 and #8000050-180 located between SR165, Ryan Rd and S. River Avenue, Buckley, WA 98321; and

WHEREAS, the right-of-way remnants under consideration for vacation are all within the corporate limits of the City of Buckley and subject to the vacation procedures outlined in BMC 13.25; and

WHEREAS, the City has prepared all supporting information consisting of survey, vicinity map, plat map, title search and legal descriptions as outlined in BMC 13.25.050; and

WHEREAS, pursuant to BMC 13.25.060 the city council shall by resolution fix the time when the petition will be heard by the City Council;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BUCKLEY as follows:

Section 1: That Tuesday, the 12th day of November, 2019, at 7:00 PM of said day, or as soon thereafter as the matter may be heard, has been fixed as the date for a public hearing upon

said street vacation at the City Council Chambers at 811 Main Street, at which time and place all interested persons may appear and voice their approval or disapproval of said street vacation.

Section 2: That the city clerk shall give not less than 20 days' notice of the time, place and purpose of the hearing by (1) publishing written notice once in the city's official newspaper, (2) posting a placard in a conspicuous place at each end of the street or alley sought to be vacated, and (3) mailing written notice to all petitioners at the addresses on the petition and all owners of property abutting the street or alley proposed to be vacated, as shown on the records of the Pierce County assessor.

Introduced, passed and approved this 22nd day of October, 2019.

Pat Johnson, Mayor

ATTEST:

Treva Percival, City Clerk

APPROVED AS TO FORM:

Phil Olbrechts, City Attorney

POSTED: _____



CITY COUNCIL AGENDA BILL

City of Buckley
PO Box 1960
Buckley, WA 98321

ITEM INFORMATION			
SUBJECT: RES No. 19-__ (Converting Portions of Three Pierce County Tax Parcels to Public Right-of-Way) Cost Impact: N/A Fund Source: N/A Timeline: N/A	Agenda Date: October 22, 2019		AB19-104
	Department/Committee/Individual	Created	Reviewed
	Mayor Pat Johnson		X
	City Administrator – Dave Schmidt		X
	City Attorney – Phil Olbrechts		X
	City Engineer – Dominic Miller		X
	City Clerk – Treva Percival	X	X
	Finance Dept – Sandra Groshong		
	Building Official – Mike Deadmond		
	Fire Dept – Chief Predmore		
	Parks & Rec Dept – Kevin Caviezel		
	Planning Dept – Leticia Wallgren		
	Police Dept – Chief Arsanto		
	Municipal Court – Jessica Cash		
	PW/Utilities – Chris Banks		
Attachments: Resolution			
SUMMARY STATEMENT: The Resolution being presented for consideration converts and dedicates portions of Pierce County Tax Parcels #8000050-210, #8000050-200, and #8000050-180 needed for the River Avenue Project as public right-of-way through quit claim deed.			
COMMITTEE REVIEW AND RECOMMENDATION:			
RECOMMENDED ACTION: MOVE to Approve Resolution No. 19-08, Converting Portions of Three Pierce County Tax Parcels to Public Right-of-Way.			
RECORD OF COUNCIL ACTION			
Meeting Date	Action	Vote	

RESOLUTION NO. 19-____

BUCKLEY, WASHINGTON

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BUCKLEY, PIERCE COUNTY, WASHINGTON CONVERTING PORTIONS OF PIERCE COUNTY TAX PARCEL NUMBERS 8000050-210, 8000050-200 AND 8000050-180 TO PUBLIC RIGHT-OF-WAY FOR THE RIVER AVENUE RECONSTRUCTION PROJECT.

WHEREAS, the City Council approved final acceptance of the River Avenue Reconstruction Project on January 22, 2019; and

WHEREAS, reconstruction of the River Avenue Project included expanded diagonal parking, and streetscape with widened sidewalks that resulted in a cross section wider than the existing dedicated right-of-way; and

WHEREAS, the subject areas where the improvements extend onto public property begin at the north end of the curve next to the Cascade Veterinary Clinic and extend north to the City Youth Center across Pierce County Tax Parcels #8000050-210, #8000050-200 and #8000050-180 ; and

WHEREAS, those portions of PC Parcels #8000050-210, #8000050-200 and #8000050-180 that will contain the new segment of roadway will be a part of River Avenue and needs to be designated and dedicated as public right-of-way; and

WHEREAS, the areas identified as lying within the project boundaries consists of three (3) separate areas totaling 8,704 square feet; and

WHEREAS, The City Council desires to convert and dedicate those portions of PC Parcels #8000050-210, #8000050-200 and #8000050-180 needed for the River Avenue Project as public right-of-way through quit claim deed;

NOW THEREFORE BE IT RESOLVED by the Buckley City Council, City of Buckley, Pierce County, Washington that those portions of Pierce County Tax Parcels #8000050-210, #8000050-200 and #8000050-180 identified in the attached Exhibits D-F and documents entitled "Quitclaim Deeds for Right-of-Way" are hereby dedicated through quitclaim deed as

public right-of-way and the Mayor is authorized to execute the quit claim deeds and any other documents necessary to complete the dedication.

Introduced, passed and approved this 22nd day of October, 2019.

Patricia Johnson, Mayor

ATTEST:

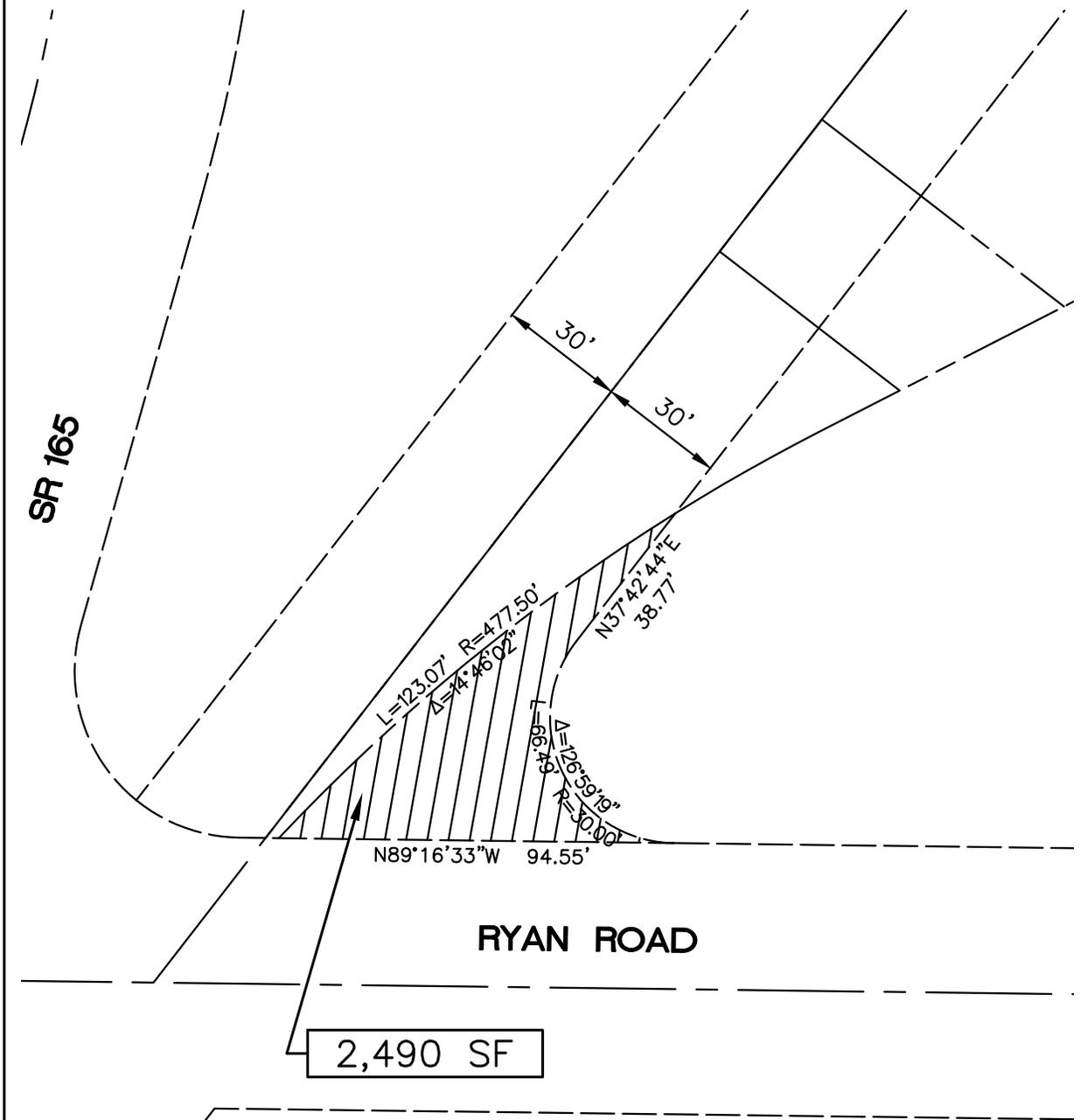
Treva Percival, City Clerk

APPROVED AS TO FORM:

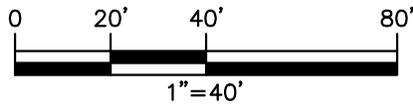
Office of the City Attorney

PUBLISHED: _____

EXHIBIT 'A'
CEDAR COMMUNITY CHURCH

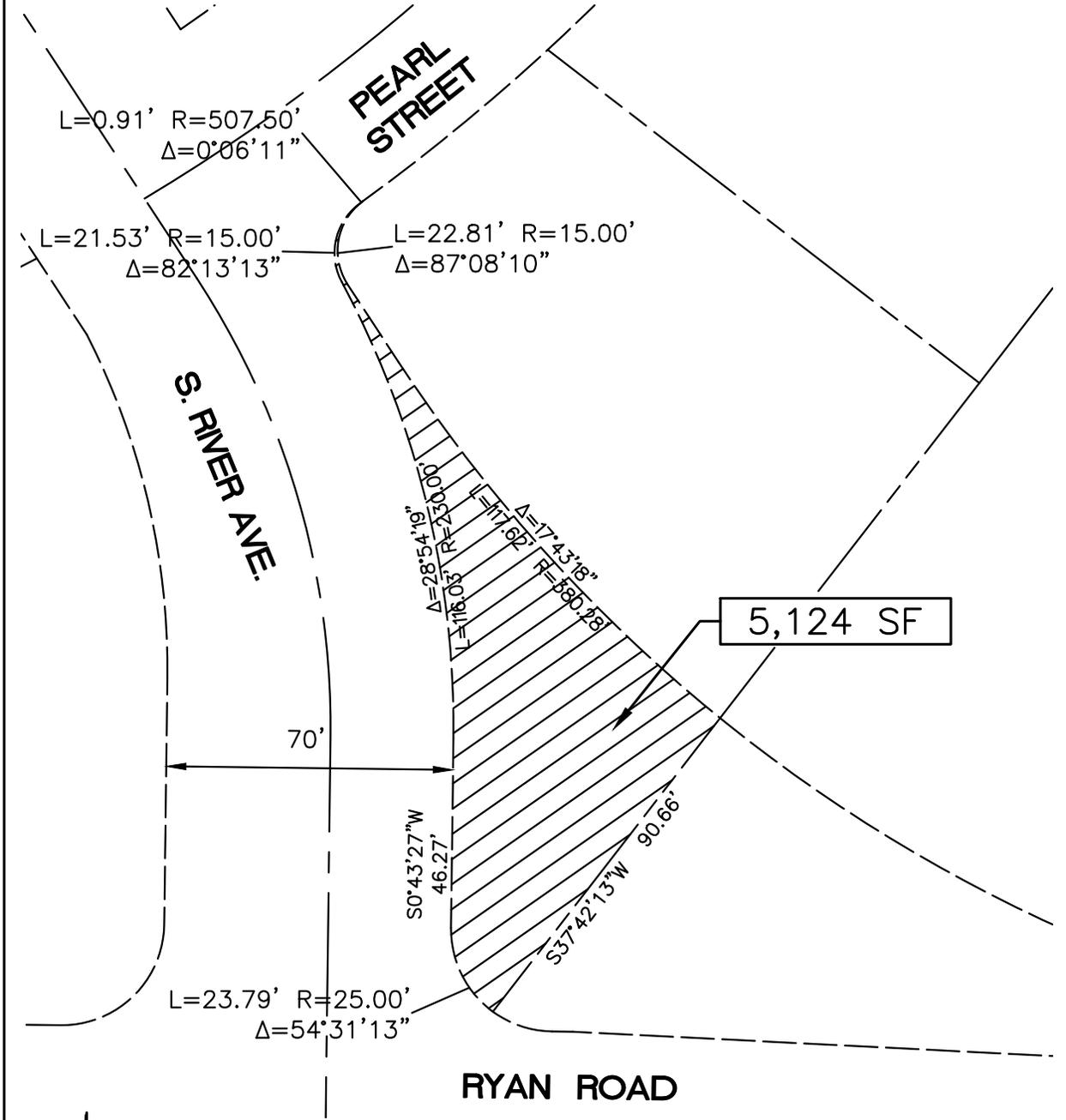


2,490 SF

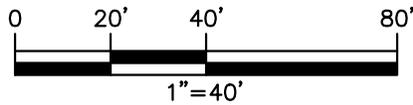


CITY OF BUCKLEY
SR 165/SR 410/RYAN RD/RIVER AVE.
TAX PARCEL NO. 061903-3-036
R/W VACATION
EXHIBIT 'A'

**EXHIBIT 'B'
HORTON**

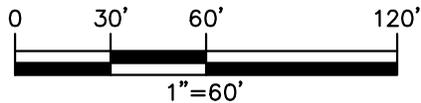
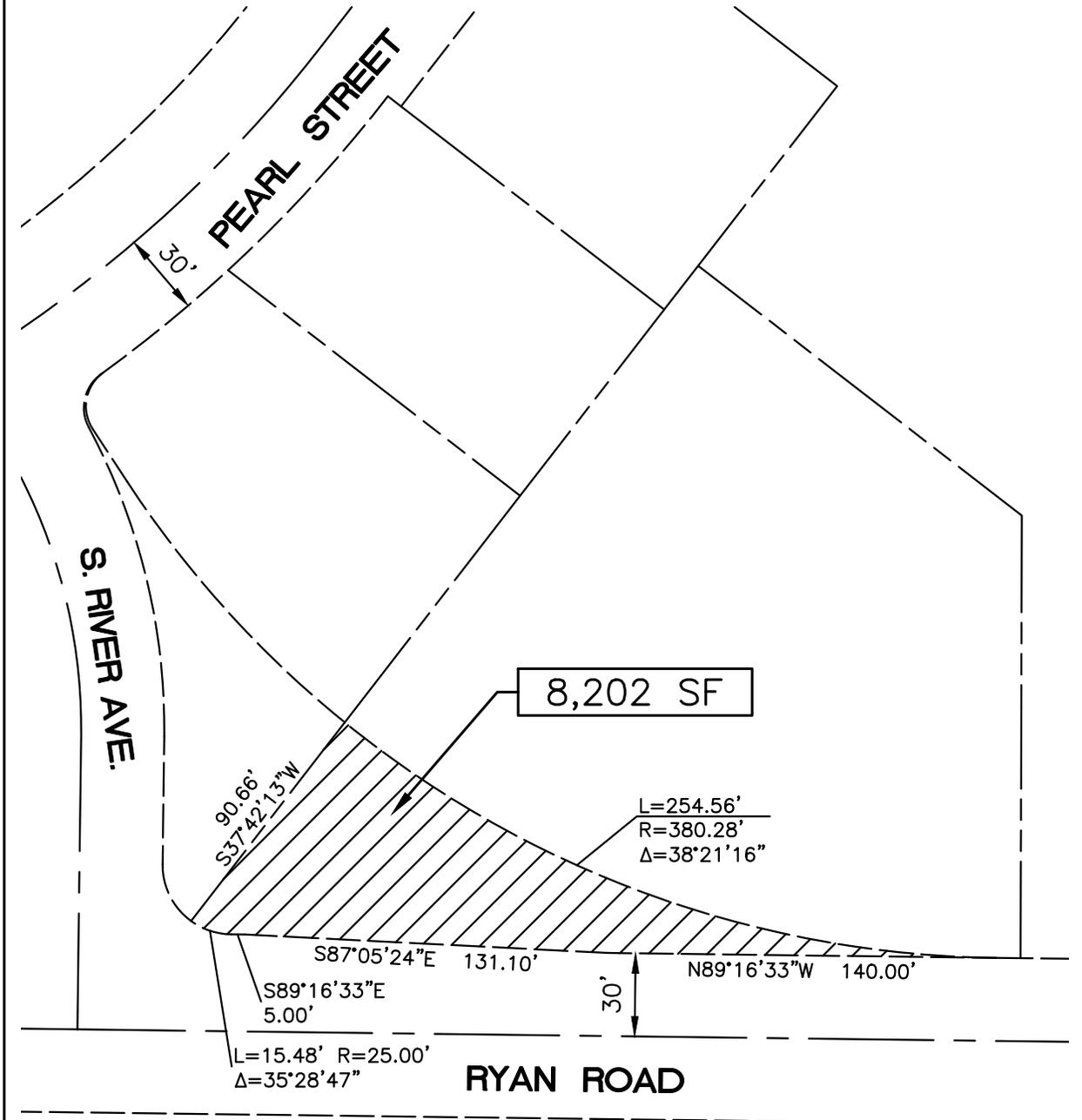


5,124 SF



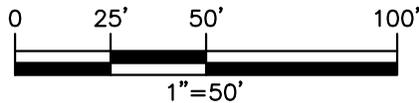
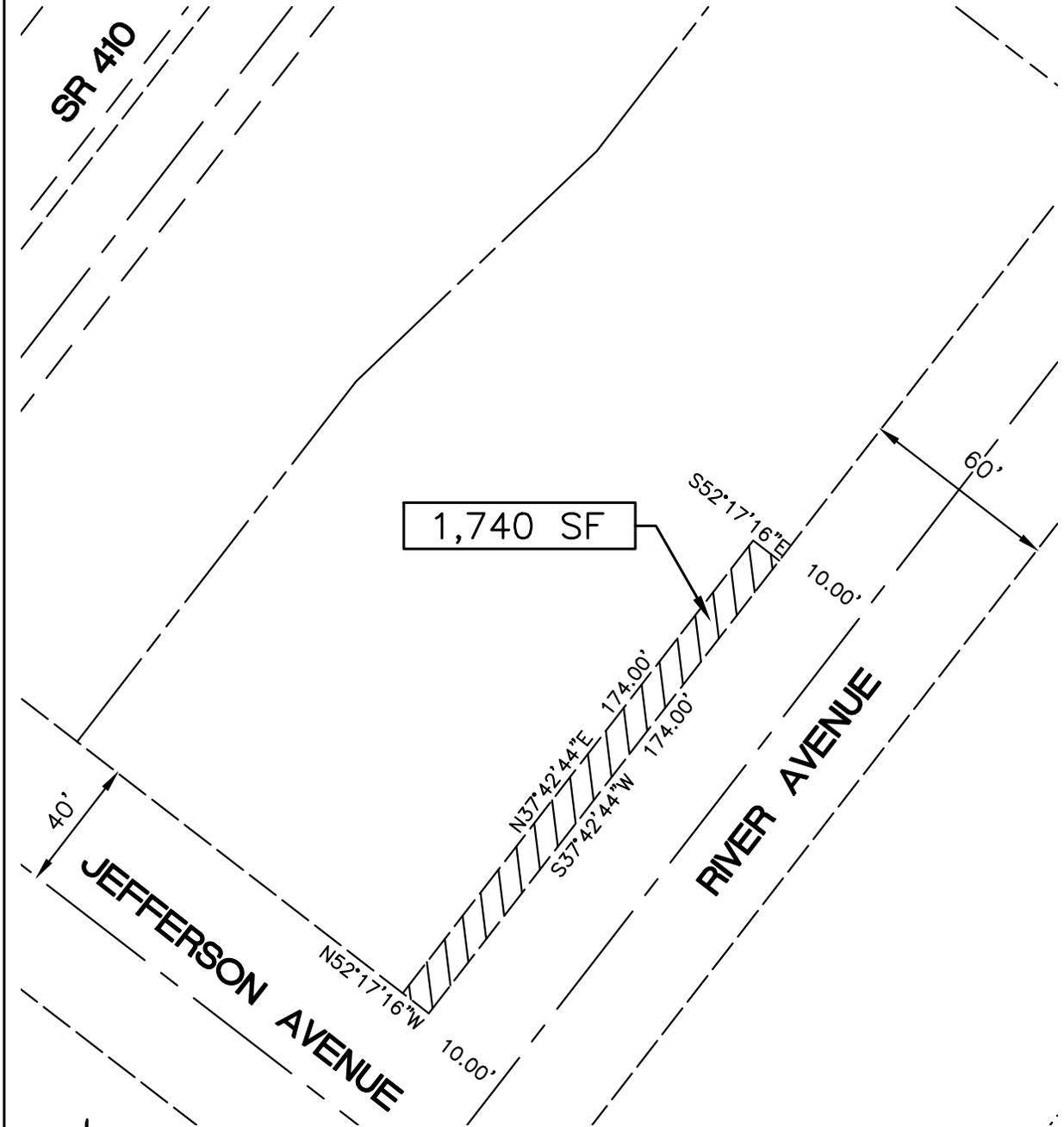
CITY OF BUCKLEY
 SR 165/SR 410/RYAN RD/RIVER AVE.
 TAX PARCEL NO. 061903-700-3
 R/W VACATION
 EXHIBIT 'B'

EXHIBIT 'C'
MARTY FAMILY TRUST



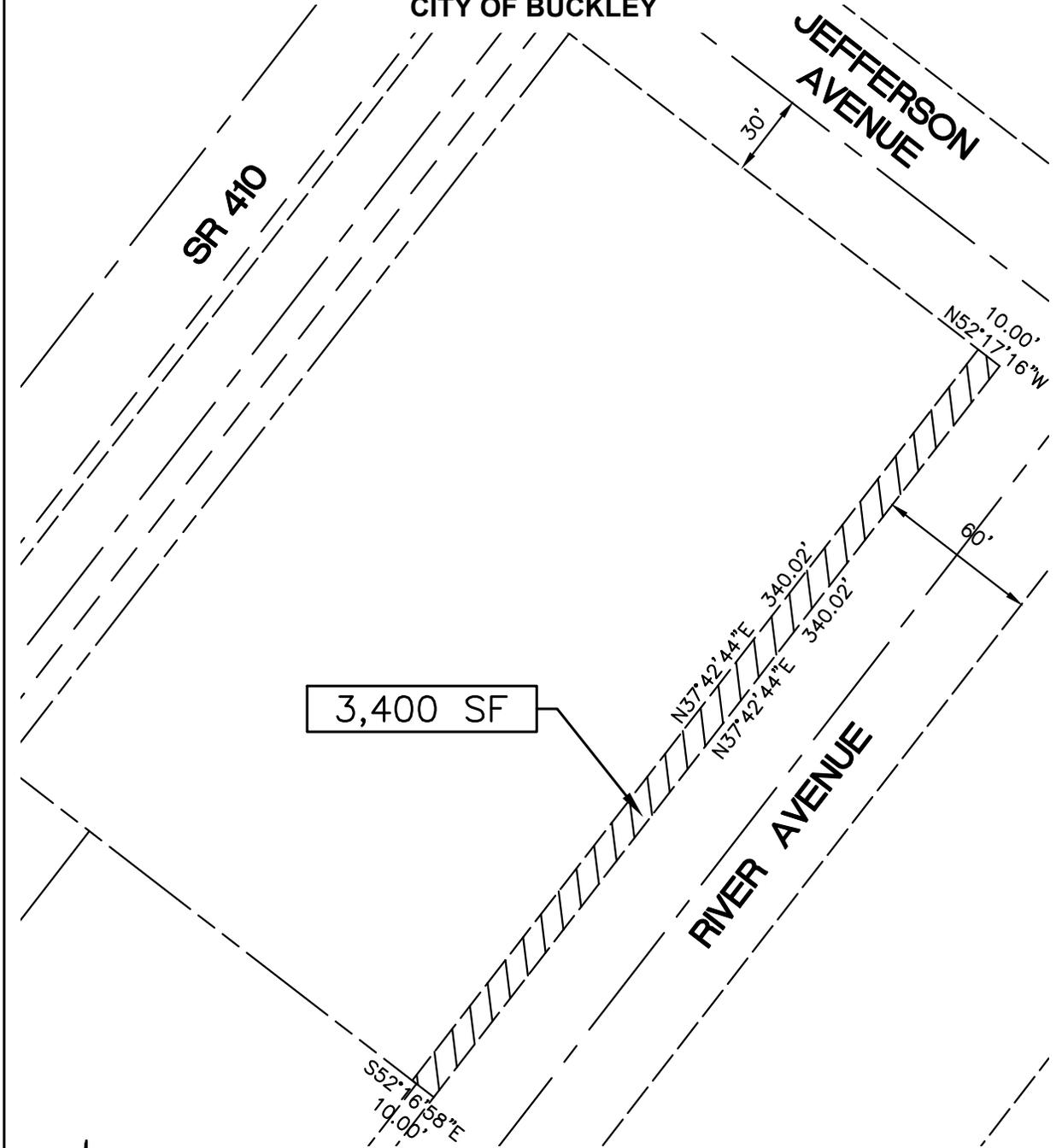
CITY OF BUCKLEY
 SR 165/SR 410/RYAN RD/RIVER AVE.
 TAX PARCEL NO. 061903-701-1
 R/W VACATION
 EXHIBIT 'C'

EXHIBIT 'D'
CITY OF BUCKLEY

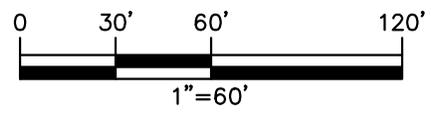


CITY OF BUCKLEY
SR 165/SR 410/RYAN RD/RIVER AVE.
TAX PARCEL NO. 80000-50180
R/W DEDICATION
EXHIBIT 'D'

EXHIBIT 'E'
CITY OF BUCKLEY

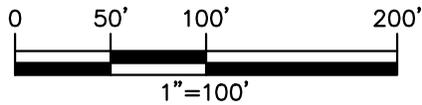
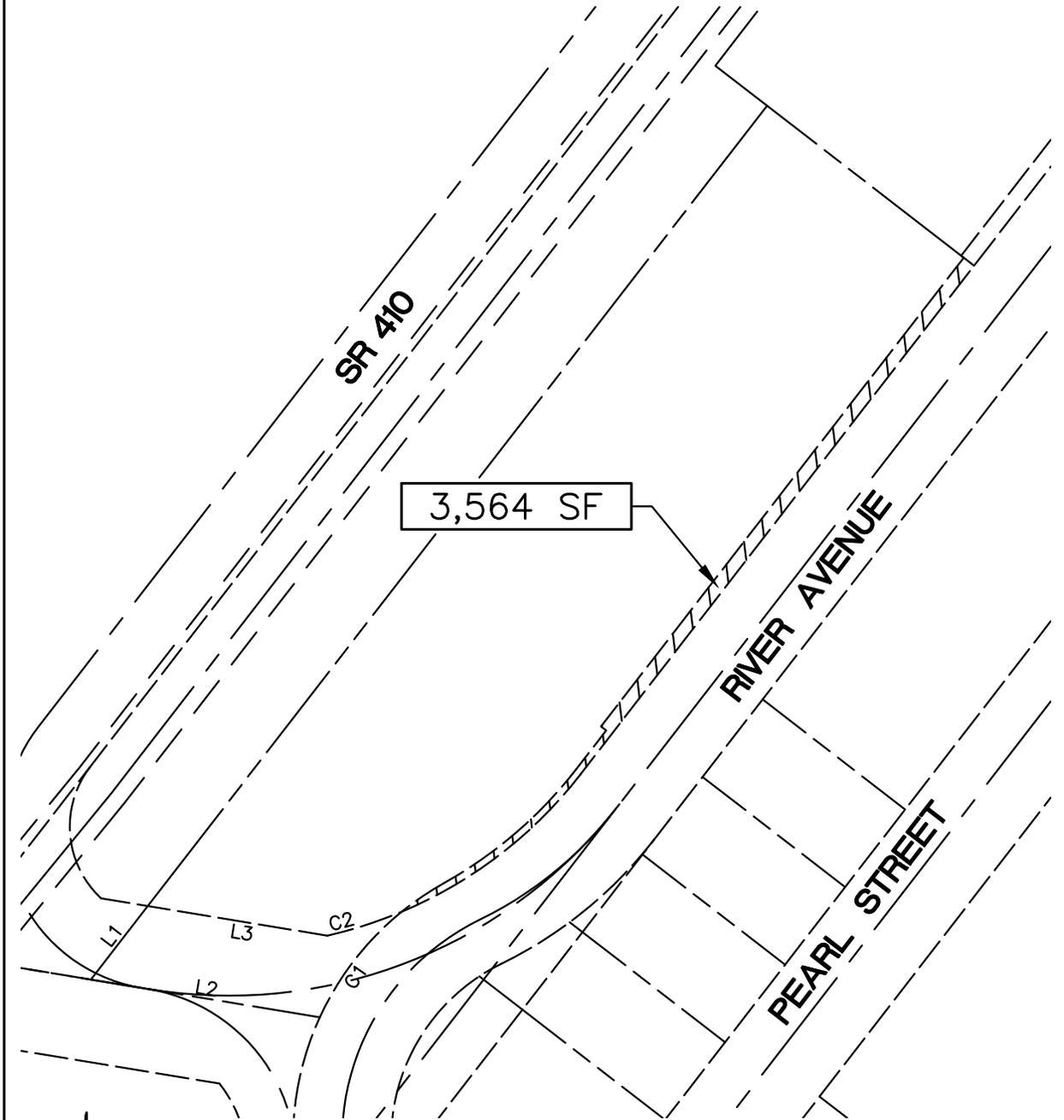


3,400 SF



CITY OF BUCKLEY
SR 165/SR 410/RYAN RD/RIVER AVE.
TAX PARCEL NO. 80000-50200
R/W DEDICATION
EXHIBIT 'E'

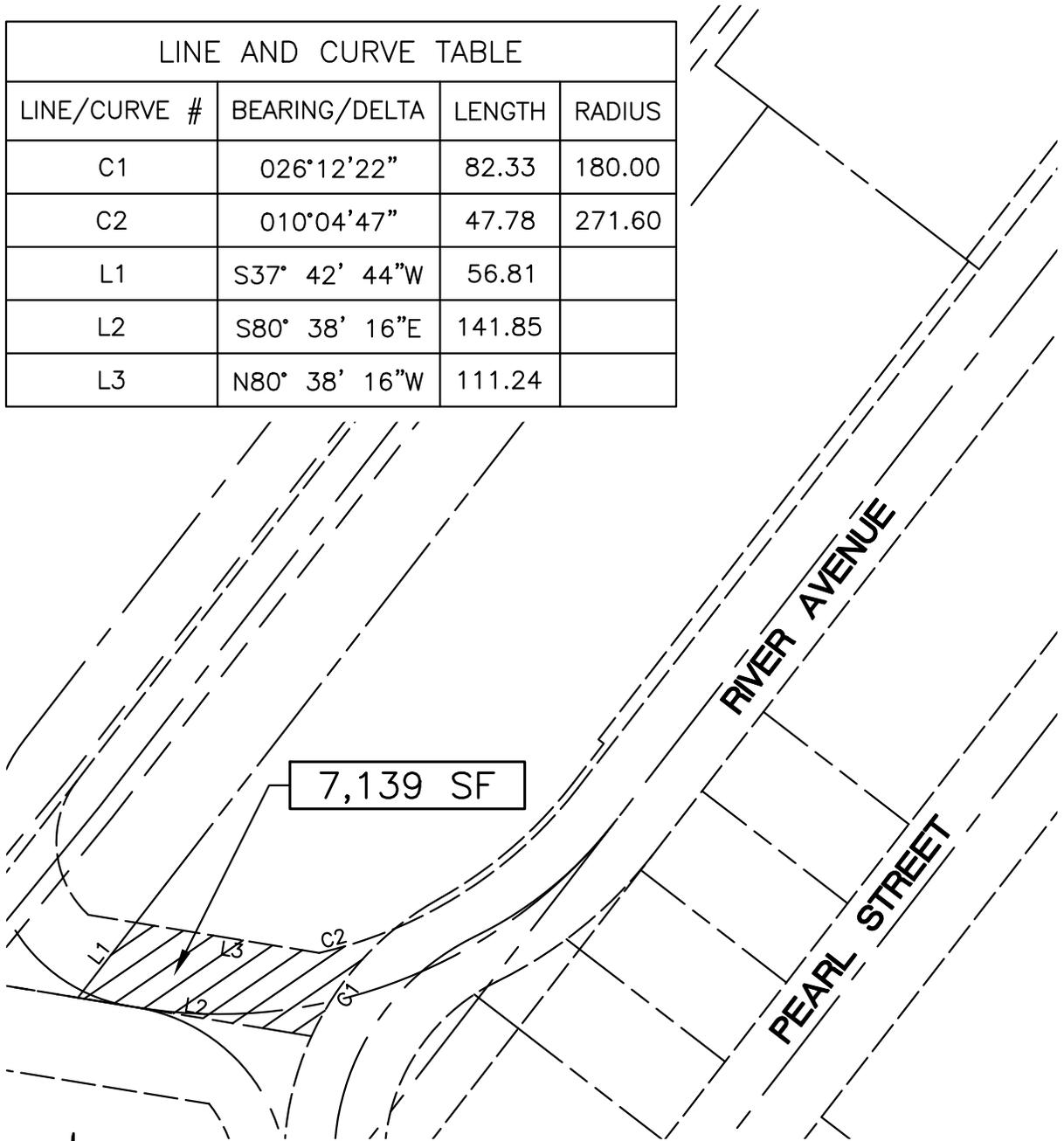
EXHIBIT 'F'
CITY OF BUCKLEY



CITY OF BUCKLEY
SR 165/SR 410/RYAN RD/RIVER AVE.
TAX PARCEL NO. 80000-50210
R/W DEDICATION
EXHIBIT 'F'

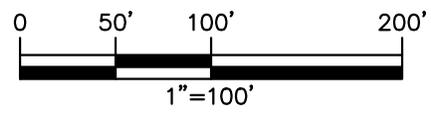
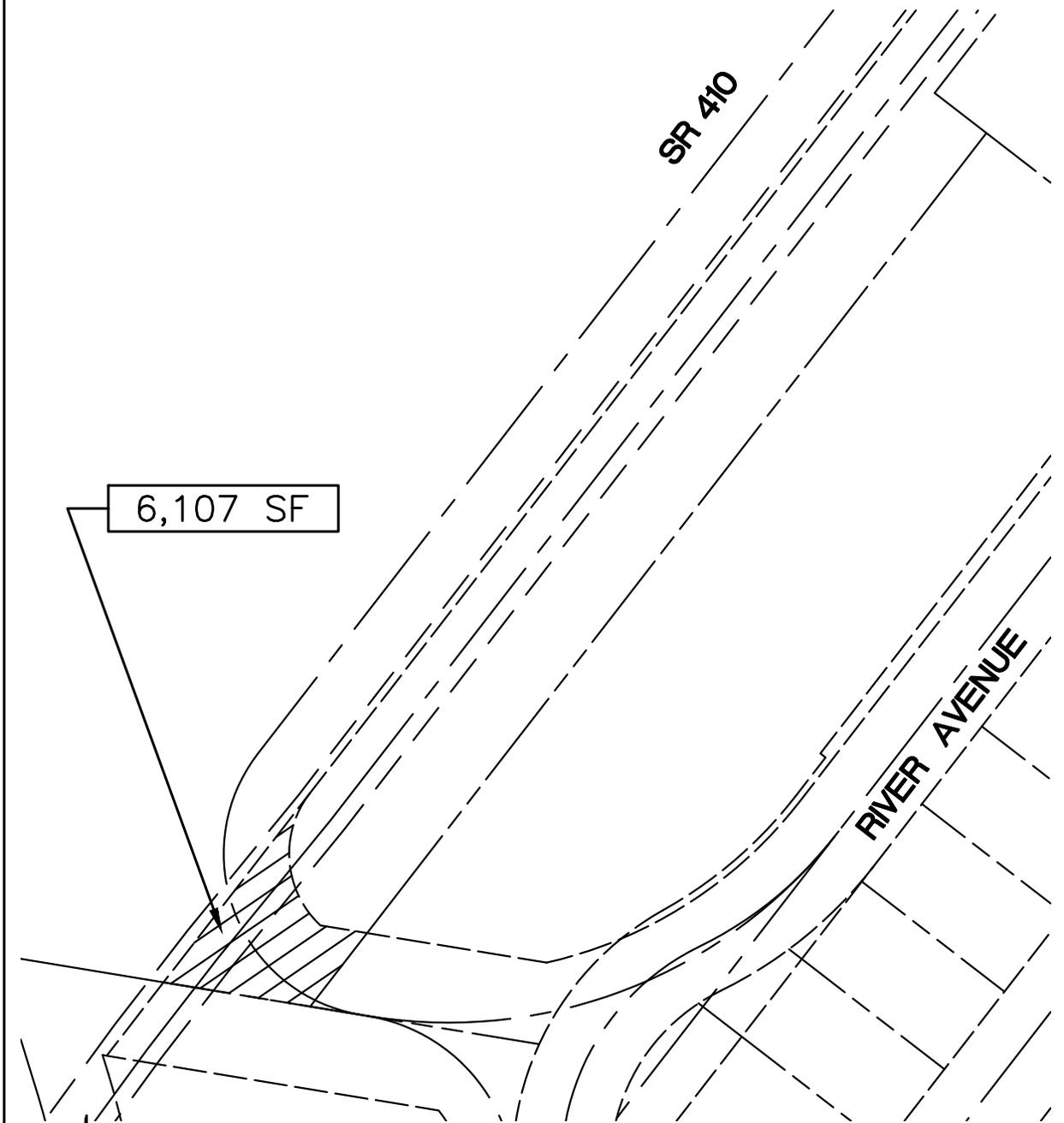
**EXHIBIT 'G'
CITY OF BUCKLEY**

LINE AND CURVE TABLE			
LINE/CURVE #	BEARING/DELTA	LENGTH	RADIUS
C1	026°12'22"	82.33	180.00
C2	010°04'47"	47.78	271.60
L1	S37° 42' 44"W	56.81	
L2	S80° 38' 16"E	141.85	
L3	N80° 38' 16"W	111.24	



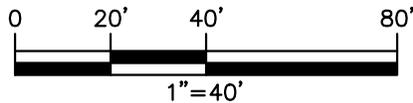
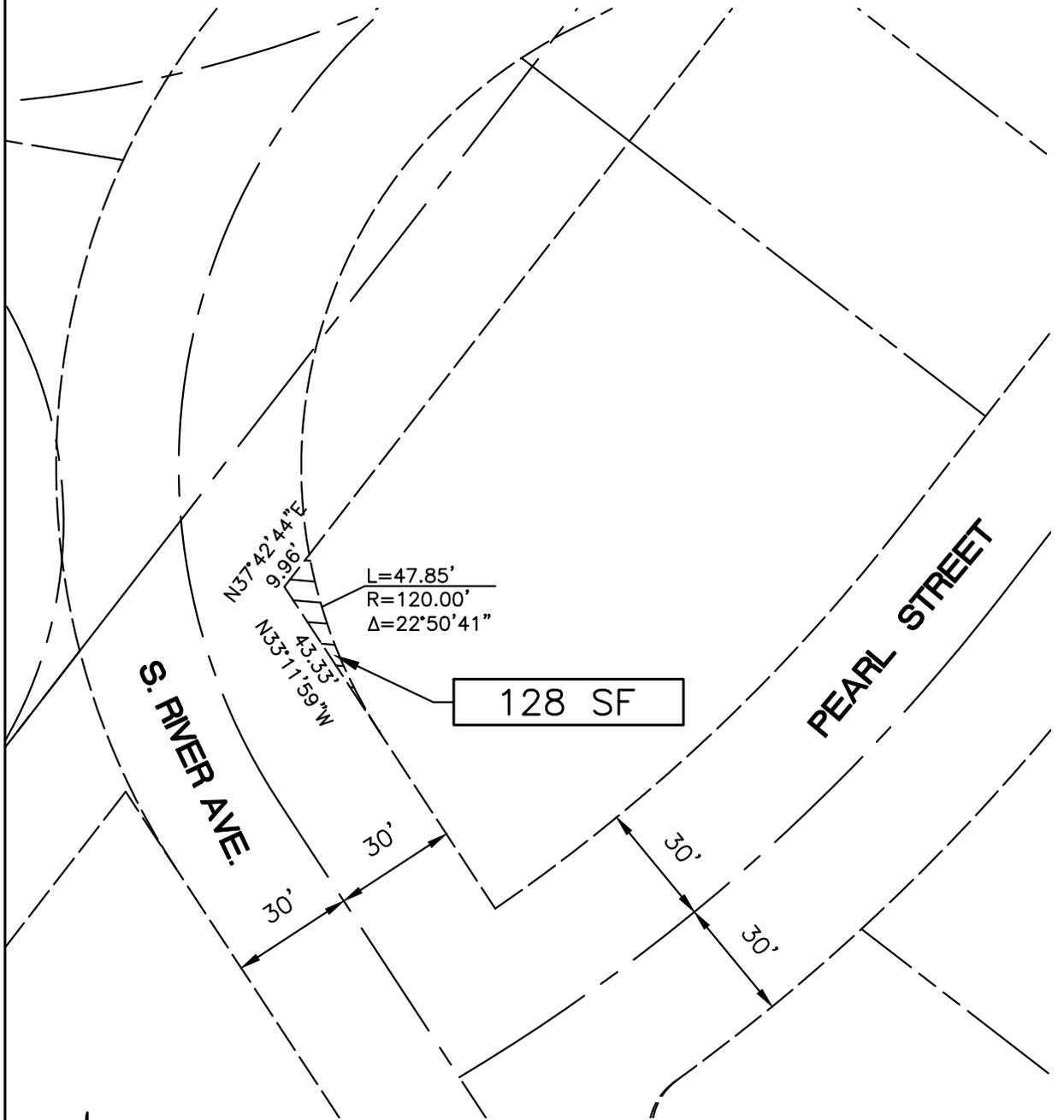
CITY OF BUCKLEY
 SR 165/SR 410/RYAN RD/RIVER AVE.
 TAX PARCEL NO. 80000-50210
 R/W VACATION
 EXHIBIT 'G'

EXHIBIT 'H'
CITY OF BUCKLEY



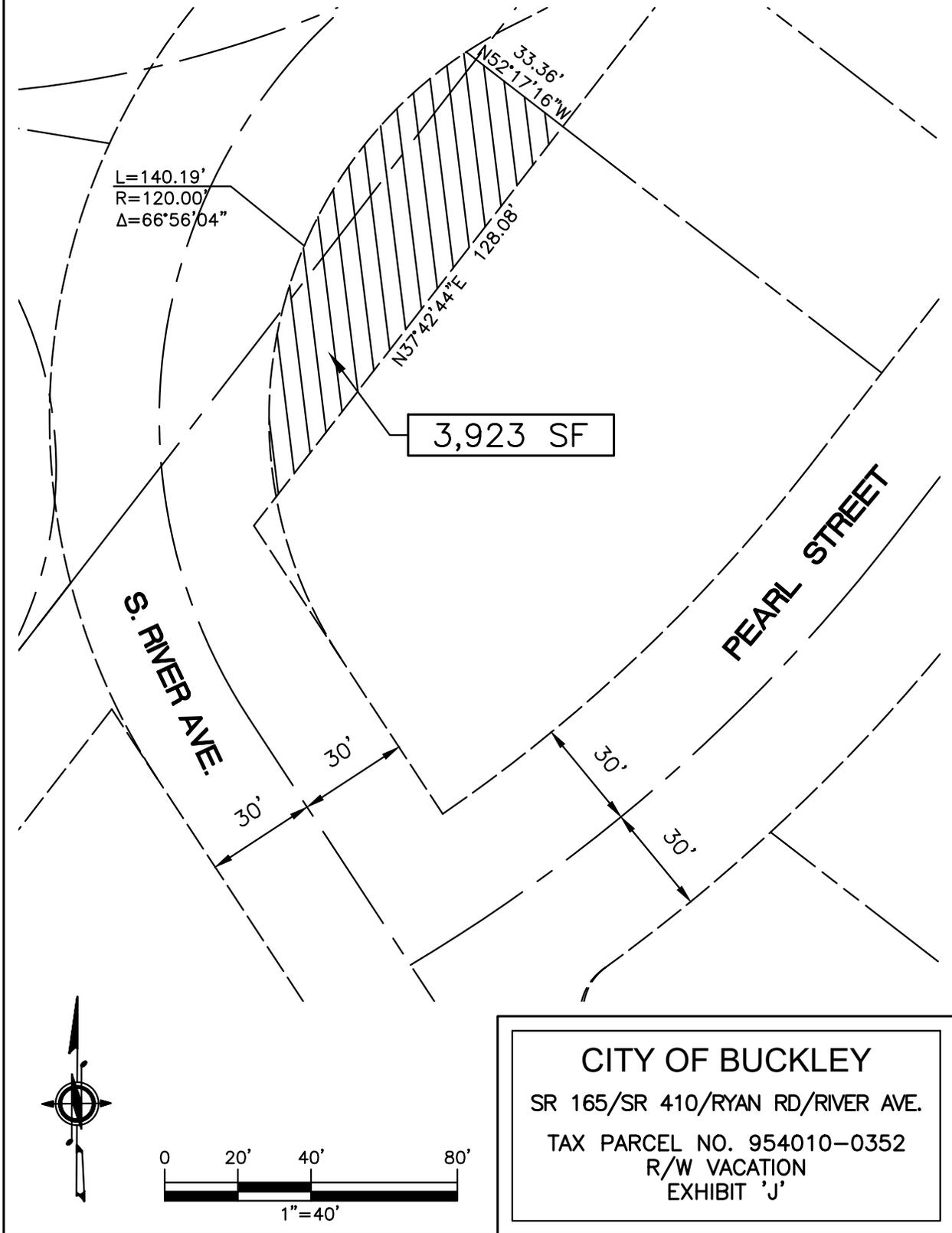
CITY OF BUCKLEY
SR 165/SR 410/RYAN RD/RIVER AVE.
TAX PARCEL NO. 80000-50220
R/W VACATION
EXHIBIT 'H'

EXHIBIT 'I'
KLING PROPERTY MANAGEMENT

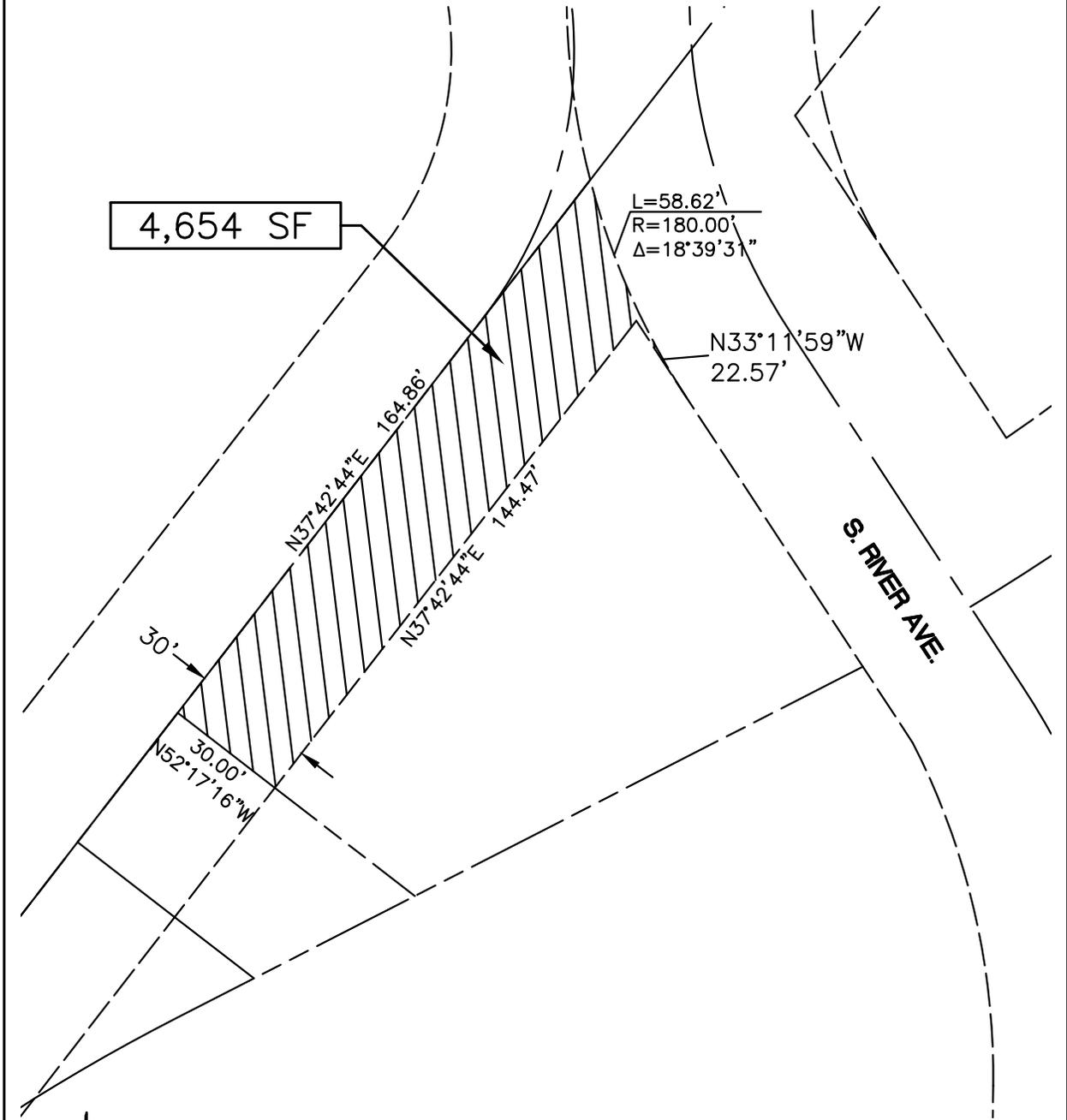


CITY OF BUCKLEY
 SR 165/SR 410/Ryan Rd/River Ave.
 TAX PARCEL NO. 954010-0352
 R/W ACQUISITION
 EXHIBIT 'I'

EXHIBIT 'J'
KLING PROPERTY MANAGEMENT



**EXHIBIT 'K'
CEDAR COMMUNITY CHURCH**

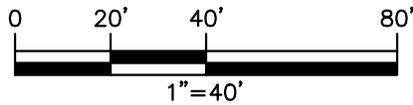


4,654 SF

$L=58.62'$
 $R=180.00'$
 $\Delta=18^{\circ}39'31''$

N33°11'59"W
22.57'

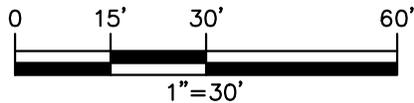
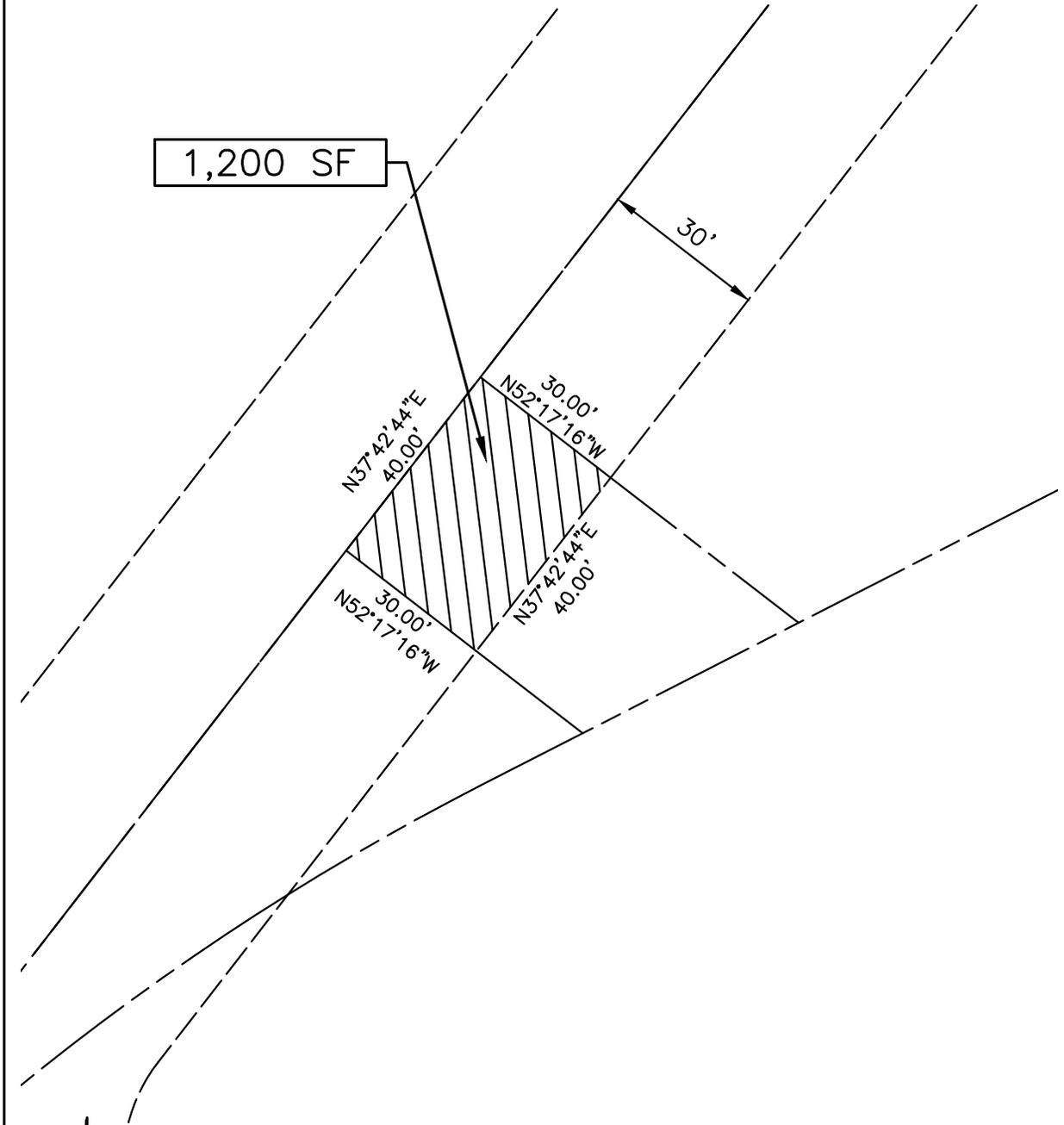
S. RIVER AVE.



CITY OF BUCKLEY
SR 165/SR 410/RYAN RD/RIVER AVE.
TAX PARCEL NO. 954010-035-3
R/W VACATION
EXHIBIT 'K'

**EXHIBIT 'L'
ERFURT**

1,200 SF



CITY OF BUCKLEY
SR 165/SR 410/RYAN RD/RIVER AVE.
TAX PARCEL NO. 954010-035-4
R/W VACATION
EXHIBIT 'L'

EXHIBIT 'M'
TRIMARK-HOYT

RIVER AVENUE

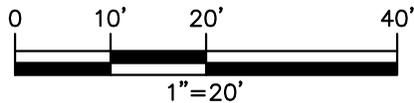
PEARL STREET

L=11.69'
R=265.00'
 $\Delta=2^{\circ}31'41''$

11.69'
N37°42'44"E

0.26'
N52°17'16"W

1 SF



CITY OF BUCKLEY

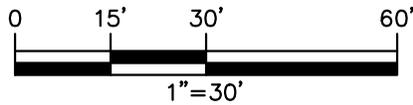
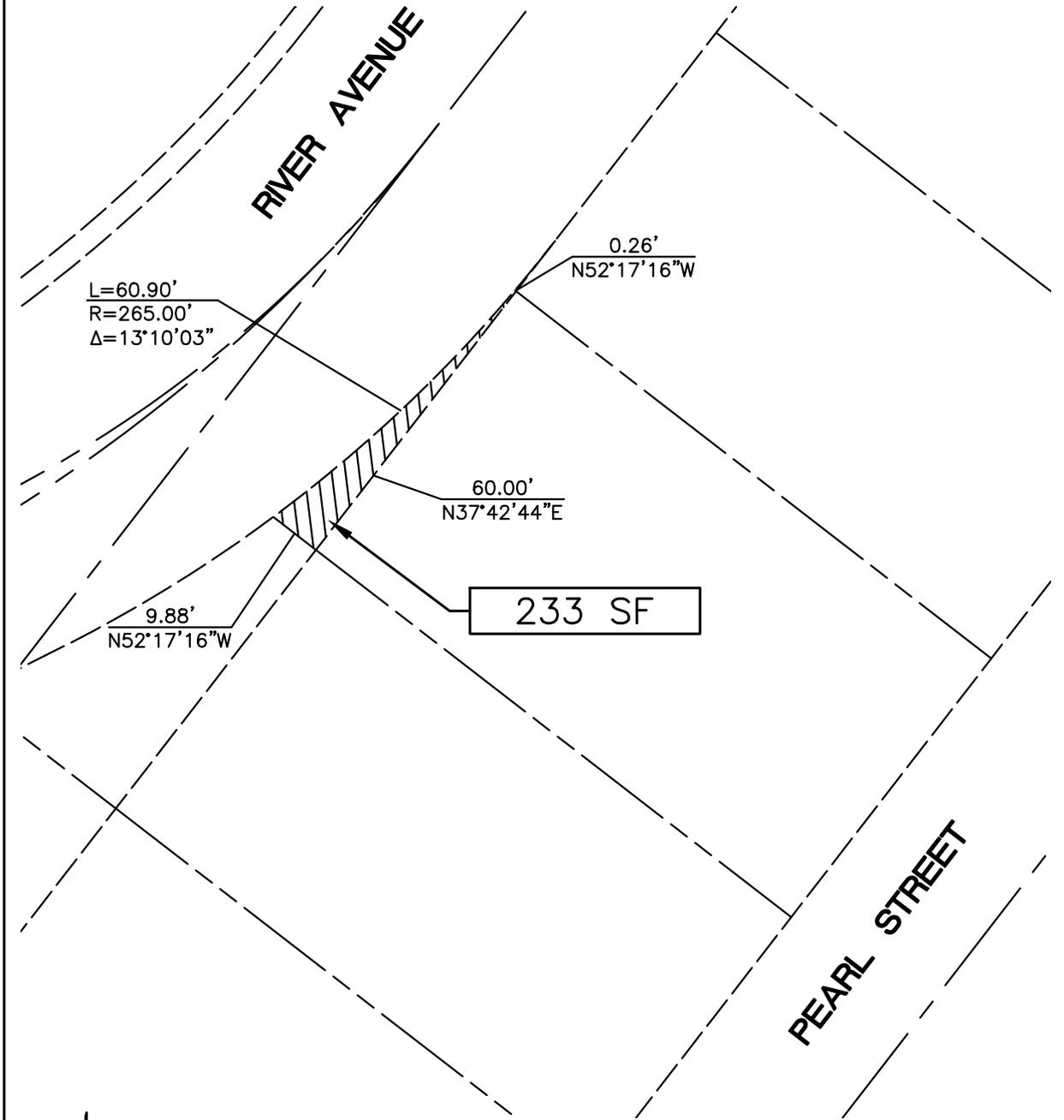
SR 165/SR 410/RYAN RD/RIVER AVE.

TAX PARCEL NO. 954010-0384

R/W VACATION

EXHIBIT 'M'

EXHIBIT 'N'
TRIMARK-HOYT

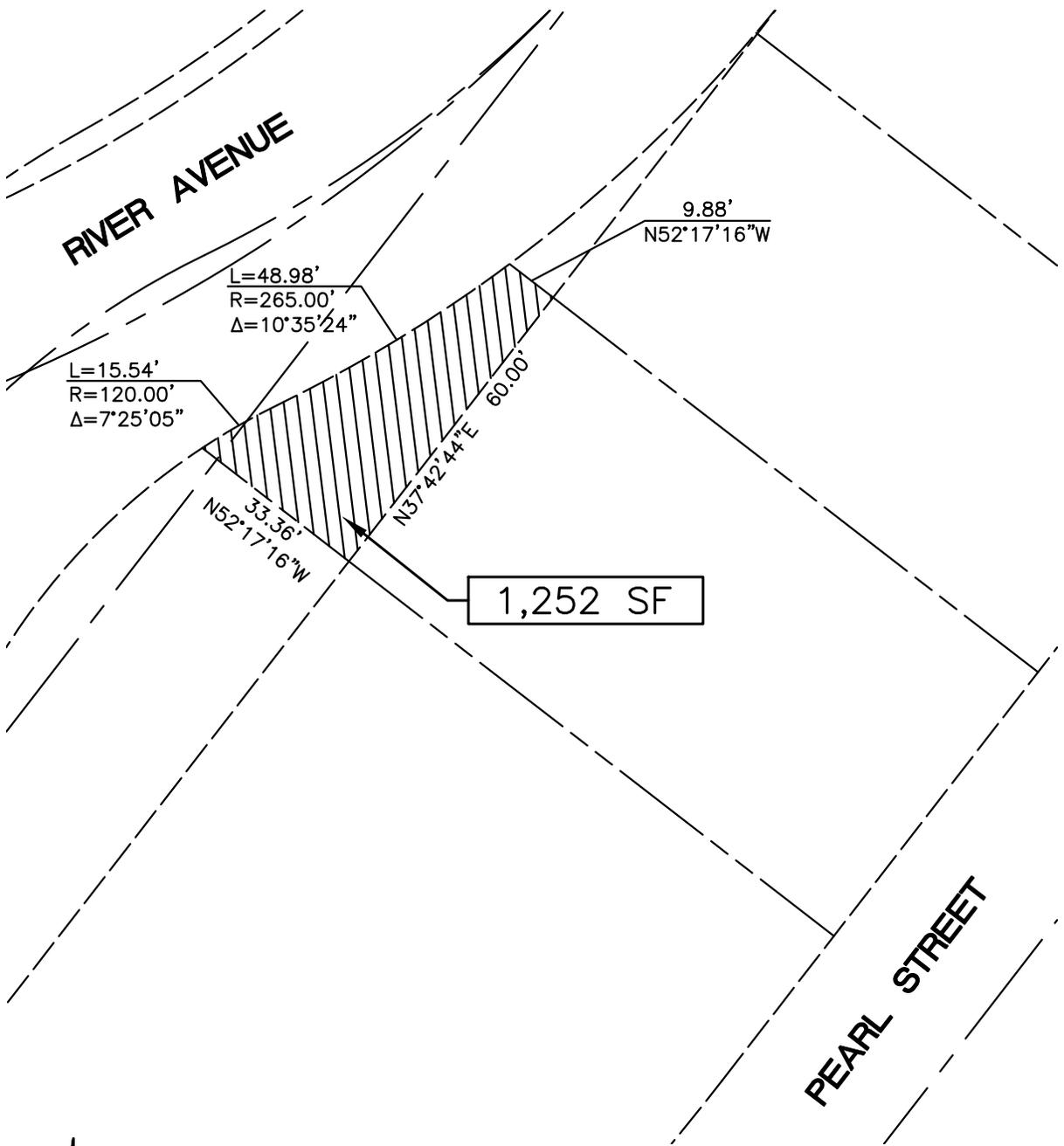


CITY OF BUCKLEY
SR 165/SR 410/RYAN RD/RIVER AVE.
TAX PARCEL NO. 954010-0385
R/W VACATION
EXHIBIT 'N'

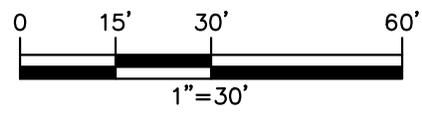
EXHIBIT 'O'
TRIMARK-HOYT

RIVER AVENUE

PEARL STREET



1,252 SF



CITY OF BUCKLEY
SR 165/SR 410/RYAN RD/RIVER AVE.
TAX PARCEL NO. 954010-0386
R/W VACATION
EXHIBIT 'O'



CITY COUNCIL AGENDA BILL

City of Buckley
PO Box 1960
Buckley, WA 98321

ITEM INFORMATION			
SUBJECT:	Agenda Date: October 22, 2019 AB19-105		
Bigfoot Java Design Review	Department/Committee/Individual	Created	Reviewed
	Mayor Pat Johnson		X
	City Administrator – Dave Schmidt		X
	City Attorney – Phil Olbrechts		X
	City Engineer – Dominic Miller		
	City Clerk – Treva Percival		X
	Finance Dept – Sheila Bazzar		
	Building Official – Mike Deadmond		
	Fire Dept – Chief Predmore		
	Parks & Rec Dept – Kevin Caviezel		
	Planning Dept – Leticia Evans	X	X
	Police Dept – Chief Arsanto		
	Municipal Court – Jessica Cash		
	PW/Utilities – Chris Banks		
Attachments: Signed Design Review Committee Report and Exhibits 1-5			
<p>SUMMARY STATEMENT: Applicants Mike Baily and Jennifer Whitmore, for Bigfoot Java, went through the design review process for a new coffee service building proposed for 491 Main St. The application included design review for all building signs and exterior building elements including building and sign colors and materials. The application was reviewed for conformity with Highway 410 Development Guidelines. All pertinent information is presented in the Design Review Committee report and exhibits. Supplemental materials are also available to view at the Building and Planning office. The Design Review Committee considered this application and recommends approval as conditioned.</p>			
COMMITTEE REVIEW AND RECOMMENDATION:			
RECOMMENDED ACTION: Move to approve the design review application for Bigfoot Java			
RECORD OF COUNCIL ACTION			
<i>Meeting Date</i>	<i>Action</i>	<i>Vote</i>	



**City of Buckley
Design Review Committee
Design and Sign Review**

Proposal Name: Bigfoot Java Drive Thru

Proposal Address: 491 Main Street; Parcel #0619033005 and #0619033006

Proposal Description: Design review for new duel drive thru coffee building

File Number: Design review permit #DR-19-0005

Applicant: Bigfoot Java

Contact: Mike Baily – LDG Architects:
mike@ldgarchitects.com; 206-283-4764

Planner: Evan Lewis, Assistant Planner

State Environmental Policy (SEPA) Threshold Determination: Exempt

Decisions Included: Recommendation to City Council

Department Decision: Conditional Approval



Sandy Burkett, Community Services Chair
City of Buckley

Decision Date: NA
Notice of Application: NA
Decision Publication Date: NA
Appeal Deadline: NA

Contents

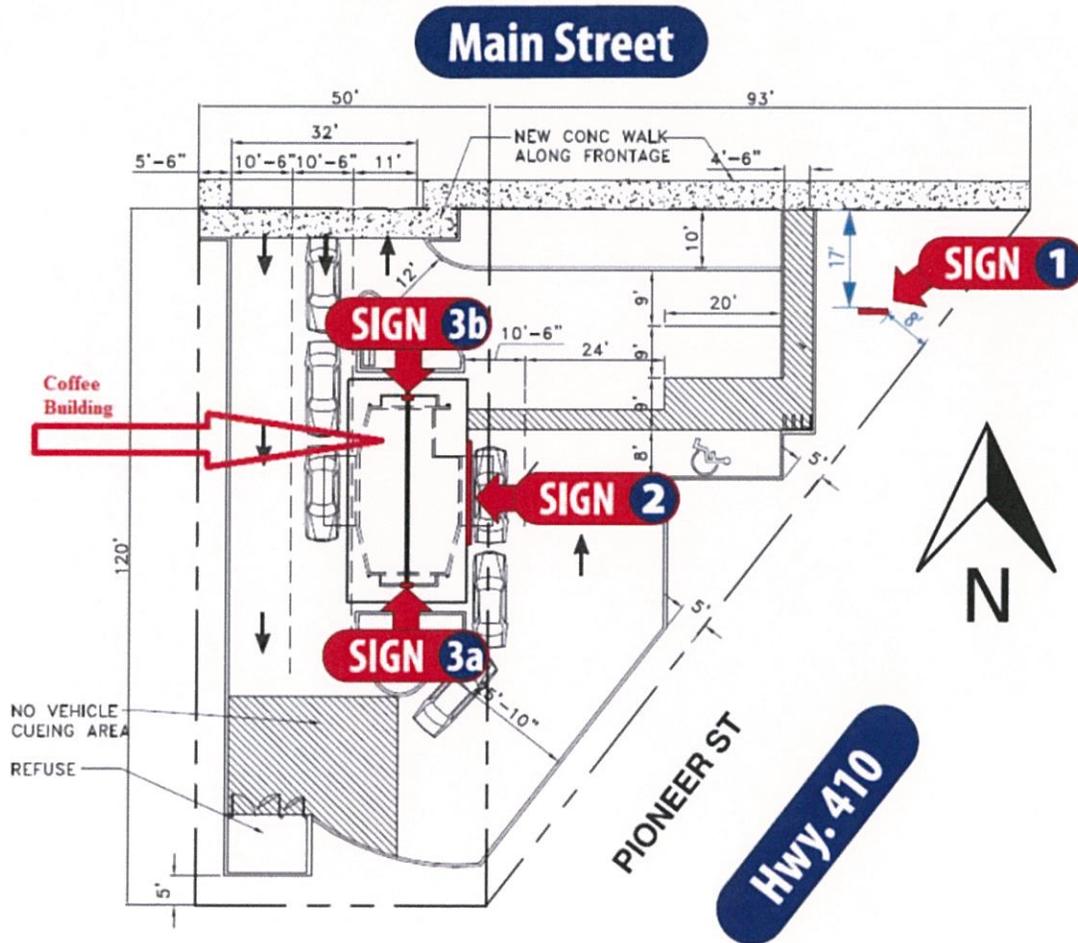
I	Background	3
	Coffee Service Building.....	4
	Monument Sign.....	6
	Building-Mounted Signs	6
	Siding	7
	Roofing	7
	Windows	7
	Doors	7
	Ornamentation.....	7
	Colors	8
	Other Site Elements	8
II	Sign Design Review Standards	9
	19.30.070 General Sign Requirements	9
	19.30.80 Sign Area Calculation	11
	19.30.100 General Commercial, Central Commercial, and Industrial (GC, CC, LI) Zone Signs.....	11
	19.30.180 Maintenance of Signs.....	13
III	Highway 410 Development Guidelines	14
	4.2 Building Construction	14
	4.3 Unifying Elements	17
IV	Conclusion and Recommendation	19
V	Exhibits	20

I Background

The City received an application for design review on July 22, 2019 for a new coffee service building and signs at 491 Main Street; parcel #0619033005 and #0619033006. This property is zoned Central Commercial (CC) and is located at the southwest corner of Hwy 410 and Main Street. The proposal requires sign and major design review to evaluate compliance with the sign code and development guidelines for the Hwy 410 corridor. This applicant will also be required to undergo site plan review for this proposed project; the site plan review has a separate review process and review criteria.

The proposal for Bigfoot Java consists of one, 650 square foot and approximately 24.5 foot-high coffee service building and four signs (one monument sign and three building-mounted wall signs) as shown in **Figure 1** below. Four window signs (a business logo and a Bigfoot graphic), which the City considers both wall signs and building-mounted signs, are also proposed; one for each side of the building as shown in the example Bigfoot Java site pictures in **Exhibit 5**.

Figure 1: Bigfoot Java Site and Sign Layout



Coffee Service Building

The proposed coffee service building is 650 square feet and 24 feet, 7 inches in height. This proposed building contains sliding drive-thru windows for cars, as well as a swing door entrance on the east side. **Figures 2-5** show building elevations with additional and larger details shown in **Exhibits 2 and 4** attached to this staff report.

Figure 2: Coffee Service Building North and West Elevations

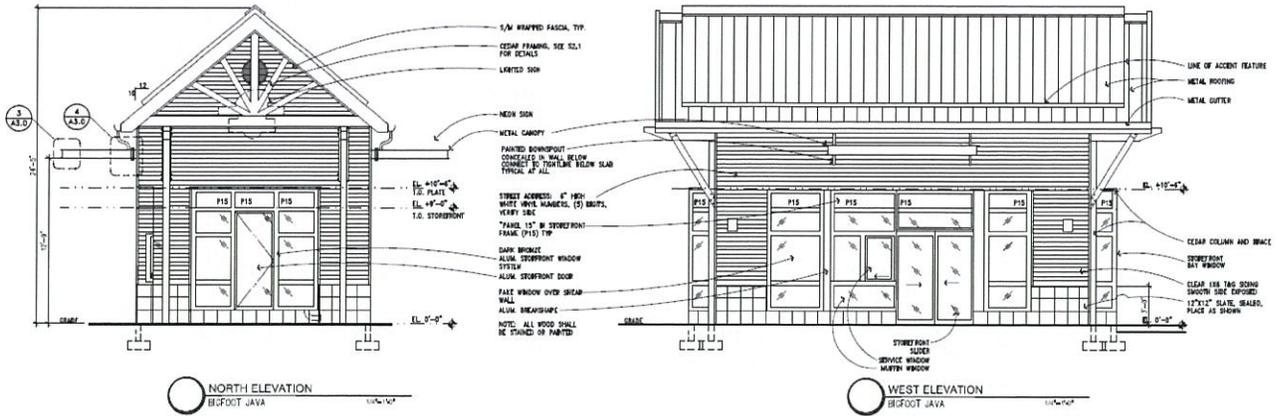


Figure 3: Coffee Service Building South and East Elevations

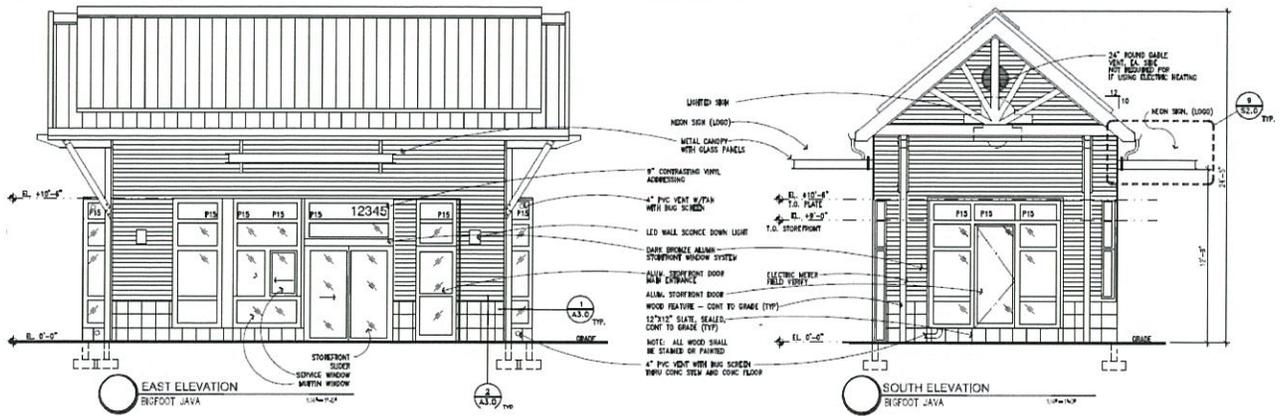
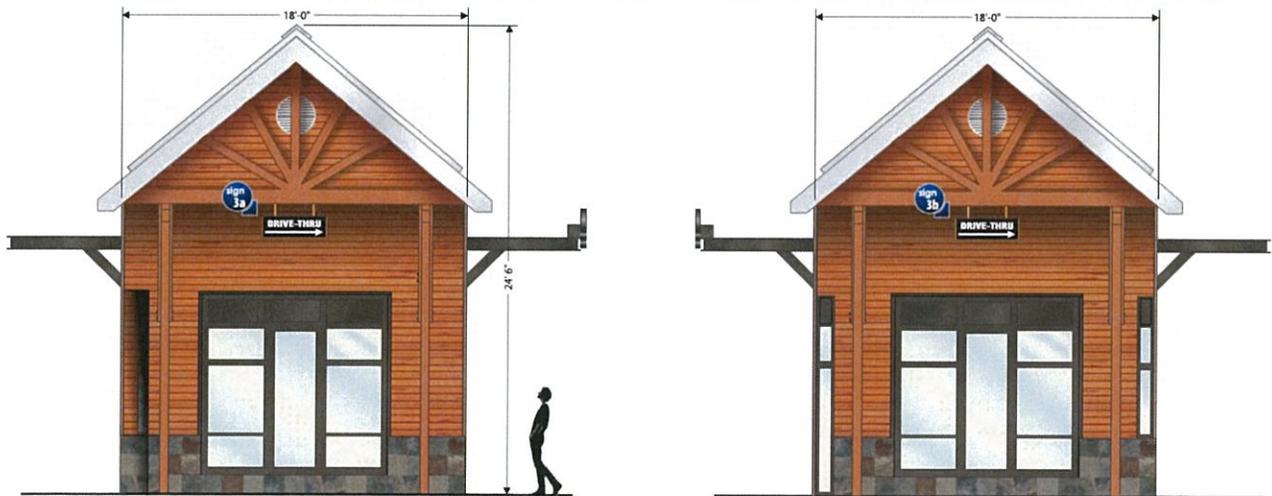


Figure 4: Coffee Service Building East Elevation Rendering



Figure 5: Coffee Service Building South (left image) and North (right image) Elevation Renderings



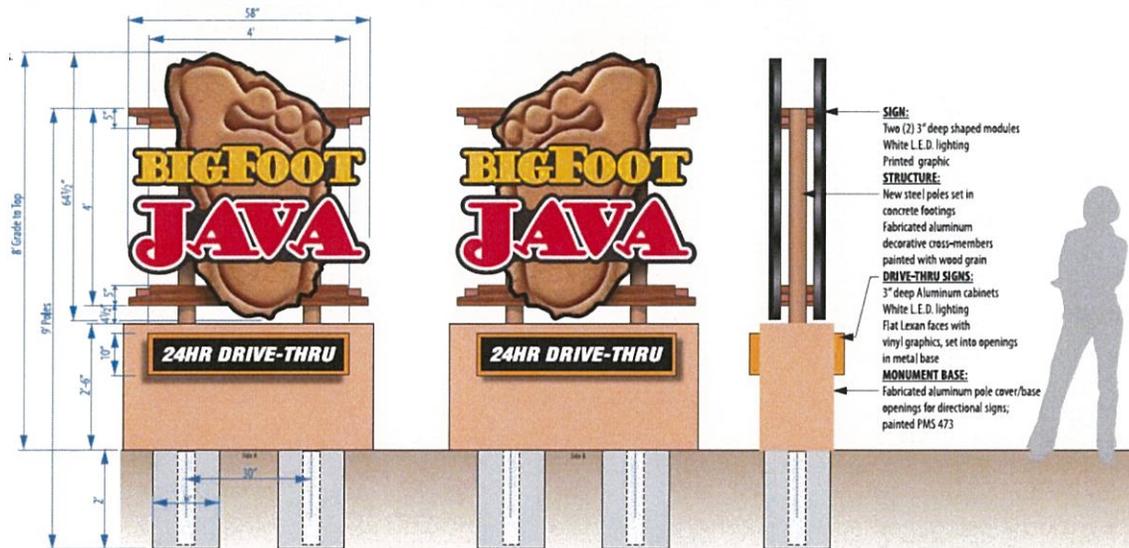
Monument Sign

The applicant proposes a monument sign near the corner of Hwy 410 and Main Street. The monument sign has two components and is set on a base; all of these components are described below:

- Foot-shaped portion of the sign that is double-sided, approximately 26 square feet per side with the words “BIGFOOT JAVA” set in front of a large foot-shaped figure. This portion of the monument sign consists of two, 3”-deep foot-shaped modules. The lettering and foot-shape are backlit translucent panel with white L.E.D. lights. The sign structure is steel and aluminum, and the graphic is translucent vinyl applied to a Lexan face.
- “24HR DRIVE-THRU” signs that are approximately 4 square feet each and attached to each side of the sign base. This portion of the sign consists of 3” deep aluminum cabinets and flat Lexan faces with white lettering that is internally illuminated with white L.E.D. lights.
- Monument sign base that is approximately 2.5 feet high and constructed of a fabricated aluminum pole cover. Iron bracing is found within the aluminum pole cover.

There are no moving or blinking lights on the monument sign or any other proposed signs. Additional sign details, images and specifications are included in **Exhibit 4**.

Figure 6: Proposed Monument Sign (Sign #1 on the site plan)



Building-Mounted Signs

The applicant proposes two drive-thru building-mounted signs on the north and south sides of the coffee service building and one building-mounted store name sign mounted to the canopy on the east side of the coffee service building. Additionally, the west and east-side windows contain an 18" x 18" company logo, and the north and south windows contain a Bigfoot creature graphic that is approximately 18" x 42". All proposed building-mounted signs are shown in Figures 7-9. Additional sign details are included in **Exhibit 4**.

Figure 7: Proposed Building-Mounted Sign (Sign #2 on Exhibit 4 Map)

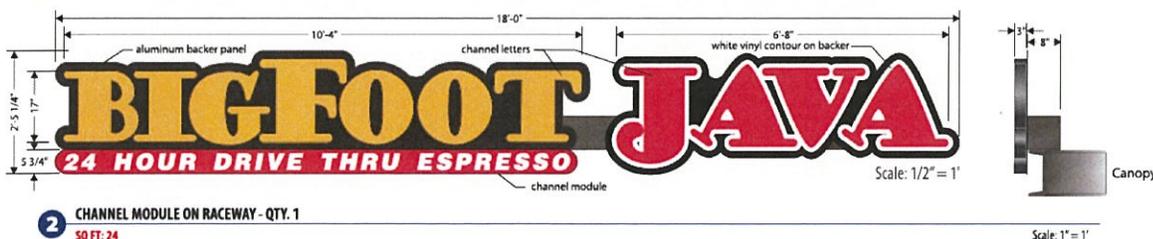


Figure 8: Proposed Building-Mounted Drive-Thru Sign (Signs #3a and 3b on Exhibit 4 Map)

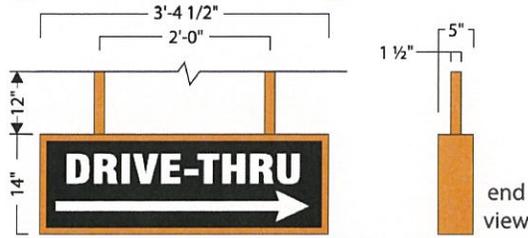


Figure 9: Proposed 18" x 18" (West & East Sides) and 18" x 42" (North & South Sides) Window Signs



Siding

Most of the siding for the coffee service building consists of semi-transparent oil base cedar. The lower three feet of siding have a 12" x 12" granite or porcelain tile.

Roofing

Proposed building roofing is made of a prefinished standing seam steel.

Windows

Proposed window systems are comprised of dark bronze aluminum frames. The west and east sides both include a sliding coffee service window. Windows on the north and south sides of the building, and some of the windows on the east and west sides, have translucent screening.

Doors

Proposed door systems are aluminum. The only entrance is on the east side and is for employees only; this entrance is a swing door with a transparent glass face. There are also swing doors on the north and south ends of the building, with translucent glass faces, but they only access open spaces within the north and south ends of the building.

Ornamentation

There does not appear to be any significant building ornamentation.

Colors

Building colors are primarily gray (roof), brown (siding), a mix of beige, brown and gray (bottom of building siding), and bronze (window and door frames). Sign colors are black, white, orange and red. Additional details are included in **Exhibit 2** and **Exhibit 4**.

Other Site Elements

Additional site elements include the following:

- Two menu signs which would be considered “incidental” signs according to Buckley Municipal Code.
- Dumpster enclosure which includes a sight-obscuring chain link portion and a CMU portion. According to the applicant, “the color is complementary to the building” and an “earthy color.”
- Light poles that are a dark, anodized bronze
- Bike racks without a specified color, although the applicant noted they could be ordered the same color as the light poles.
- Landscaping which is addressed later in this staff report and detailed in Landscape and Irrigation plans found in **Exhibit 3**, and which will undergo thorough review during the site plan review process.

Please note that these other site elements will be reviewed for code compliance during site plan review.

II Sign Design Review Standards

The following design review standards for signs are from Buckley Municipal Code (BMC). Complete design review requirements for Bigfoot Java are addressed in the next section on Highway 410 Development Guidelines.

19.30.070 General Sign Requirements

- (1) All signs, except those specifically authorized, such as community bulletin boards, political signs, real estate signs and special event signs, shall be on-premises signs.

All of the proposed signs, which include building-mounted signs and one monument sign, will be on-premises signs. Any future signs shall be on-premises signs.

- (2) The structure and erection of signs or flag poles within the city shall be governed by the most recently adopted building code (or any superseding edition adopted by the city). Compliance with the building code shall be a prerequisite to issuance of a sign permit under this code.

The applicant shall be required to comply with the building code prior to receiving a sign permit. All structural, building and architectural plans shall be reviewed by the Building Department.

- (4) Design. All signs shall be designed using materials, colors, lettering and other graphics which will be an asset to the community and in the best interest of the city and the general public.

The proposed monument sign uses orange, red and/or white lettering, white and black outlines, with internally-illuminated white L.E.D. lights. The monument sign also includes faux wood-grain paint on the foot-shaped part of the sign. Sign materials include acrylic, Lexan and vinyl graphics with aluminum and steel structures. The sign will be mounted atop a base comprised of a fabricated aluminum pole cover. Iron bracing is found within the aluminum pole cover. In the interpretation of staff, the proposed sign design would be an asset to the community and created in the best interest of the city and the general public.

- (5) Maintenance. All signs, including signs heretofore installed, shall be correctly maintained on a continuous basis pursuant to BMC [19.30.170](#) and [19.30.180](#).

All signs shall be maintained pursuant to BMC 19.30.170 and 19.30.180.

- (6) Landscaping for Freestanding and Monument Signs. All new monument signs shall include, as part of their design, landscaping about their base so as to prevent vehicles from hitting the sign and to improve the overall appearance of the installation.

- (a) Monument signs shall be located in a planting bed of equal area to the area of the sign. The planting bed may be included within any planting strip(s) required under Chapter 17.08 BMC. The minimum dimension of the planting bed shall be five feet measured from border to border or inside face of curb to sidewalk. The planting beds shall be improved with the following:
- (i) One gallon groundcover planted 12 inches on center; and
 - (ii) One shrub per 10 square feet of sign area. Shrubs located within the vision clearance area shall be not taller than 36 inches.

The proposed monument sign includes landscaping around its base which includes small shrubs as identified in the Landscaping Plan in Exhibit 3. Sign landscaping shall

comply with sign design guideline #6 and BMC 17.08. The applicant shall include façade improvements, consistent with Buckley landscaping code, such as planter boxes and hanging baskets immediately adjacent to the building.

(7) Inspection. All sign users shall permit the periodic inspection of their signs by the city upon city request.

All proposed signs shall be inspected by the Building Department pursuant to BMC 19.30.170.

(8) Location: All monument and temporary freestanding signs (such as construction signs and property "for sale" signs) must be set back a minimum of five feet from any property lines, or outside the sight triangle established in Section 4.12 of the "City of Buckley Development Guidelines and Public Works Standards," whichever is greater.

The proposed monument sign shall be set back at least five feet from the property line and shall be located outside the sight triangle. Any proposed signs shall be situated in a manner so as not to adversely affect safety or corner vision.

(12) Sign Illumination and Glare.

(a) All signs other than those referenced in subsection (8) of this section and located within the GC or CC commercial or industrial LI zones may be internally illuminated. Signs in all other zones may be indirectly illuminated; provided, the light source for indirectly illuminated signs shall be no farther away from the sign than the height of the sign.

(b) Illumination from or upon any sign shall be shaded, shielded, directed or reduced so as to avoid undue brightness, glare or reflection of light on private or public property in the surrounding area, and so as to avoid unreasonably distracting pedestrians or motorists. "Undue brightness" is illumination in excess of that which is reasonably necessary to make the sign reasonably visible to the average person on an adjacent street. Illumination, if used, shall be what is known as white or yellow and shall not be blinking, fluctuating or moving. Light rays shall shine only upon the sign or upon the property within the premises and shall not spill over the property lines, in any direction, except by indirect reflection.

(c) Indirectly illuminated signs shall be arranged so that no direct rays of light are projected from such artificial source into residences or any street right-of-way.

The proposed building-mounted signs and monument sign are illuminated with LED lights that do not blink, fluctuate or move. Light from the signs shall only illuminate sign letters and shall not spill over the property lines in any direction except by indirect reflection.

(13) Maximum height for wall signs shall not extend above the highest exterior wall upon which the sign is located.

The proposed wall signs do not appear to extend above the highest exterior wall. Wall signs shall not extend above the highest exterior wall upon which the sign is located.

(15) No sign shall be placed so as to cause a visual or physical obstruction to a public right-of-way or pedestrian way. (Ord. 22-08 § 1 (Exh. A), 2008; Ord. 11-07 § 2, 2007; Ord. 05-06 § 1, 2006).

The proposed signs do not appear to cause a visual or physical obstruction of the public right-of-way or pedestrian way. Signs shall not cause a visual or physical obstruction to a public right-of-way or pedestrian way.

19.30.80 Sign Area Calculation

The allowable sign area shall be calculated from the building frontage or lot frontage, whichever is greater. The sign, whether a wall, freestanding or monument sign, must be located on and facing upon the street frontage that determined the allowable sign area. When a business does not face a street but has an entrance that opens directly to the outside of the building, the business may have one wall sign with the area of the sign based on the business's portion of the building frontage. (Ord. 22-08 § 1 (Exh. A), 2008; Ord. 05-06 § 1, 2006).

The proposed monument sign and any building-mounted signs fronting Highway 410 shall be located on and face upon the street frontage that determined the allowable sign area.

19.30.100 General Commercial, Central Commercial, and Industrial (GC, CC, LI) Zone Signs

Signs in the general commercial (GC), central commercial (CC) and industrial (LI) zones shall be limited as follows:

(1) Building-Mounted Signs. Building-mounted signs are allowed up to one and one-half square feet of sign surface area per lineal foot of building frontage or one-half square foot of sign surface area per lineal foot of lot frontage; however, the maximum area of all building-mounted signage shall not exceed 100 square feet of sign surface area per building.

Sign measurements are as follows:

Allowable Wall Sign Area Based on BMC 19.30.100	Actual Wall and Building-Mounted Sign Area
West Side <ul style="list-style-type: none"> 120 linear ft of lot frontage; <u>60 sf of allowable sign area</u> 	West Side <ul style="list-style-type: none"> 1 building-mounted store logo window sign: 2.3 sf
South Side <ul style="list-style-type: none"> 51 linear ft of lot frontage; <u>25.5 sf of allowable sign area</u> 	South Side <ul style="list-style-type: none"> 1 building-mounted hanging "Drive-Thru" sign: 3.9 sf 1 building-mounted bigfoot graphic sign: 5.3 sf
East Side <ul style="list-style-type: none"> 151 linear ft of lot frontage; <u>75.5 sf of allowable sign area</u> 	East Side <ul style="list-style-type: none"> 1 building-mounted store logo window sign: 2.3 sf 1 building-mounted store name sign on canopy: 43.9 sf
North Side <ul style="list-style-type: none"> 143 linear ft of lot frontage; <u>71.5 sf of allowable sign area</u> 	North Side: <ul style="list-style-type: none"> 1 building-mounted hanging "Drive-
Total sign square footage shall not exceed 100 square feet.	

Allowable Wall Sign Area Based on BMC 19.30.100	Actual Wall and Building-Mounted Sign Area
	<p>Thru” sign: 3.9 sf</p> <ul style="list-style-type: none"> • 1 building-mounted Bigfoot graphic sign: 5.3 sf <p>Total wall sign area on building: 66.9 sf</p>

The proposed sign area is within the allowable sign area for each frontage and overall. Building signage shall not exceed 100 square feet for the building as a whole. It also shall not exceed 60 square feet on the west side, 25.5 square feet on the south side, 75.5 square feet on the east side, or 71.5 square feet on the north side.

- (2) Within retail or business complexes, individual tenants are allowed one building-mounted sign up to 60 square feet of sign surface area in size.

Not applicable – the proposal is not within a retail or business complex.

- (3) Monument Signs. One, double-sided monument sign not exceeding 32 square feet of sign surface area is allowed for each street frontage of the lot; provided, corner lots with a street frontage of less than 100 feet on each street shall be allowed only one sign. However, corner lots that have street frontage on at least three sides are allowed a maximum of two monument signs.

Only one, double-sided monument sign is proposed. This lot has two street frontages and each frontage is more than 100 feet, therefore two monument signs are allowed (one on each frontage). In determining the area of monument signs, BMC 19.30.020 Definitions state that:

“The area of a freestanding or monument sign shall be determined by measuring the length times the width of a sign panel. The entire sign panel shall be considered when figuring sign area. Only one sign face of a double-sided sign is used to determine sign area. The measurable area shall not include sign structures such as poles, framing, or decorative roofing; provided, that there is no written copy or symbols on the structure or architectural embellishment.”

Based on this definition, the proposed monument sign has a surface area of approximately 30 square feet per side (which includes the foot-shaped part of the sign and the portion of the sign base that reads “24HR DRIVE-THRU”).

- (4) Multiple-tenant developments that have more than 300 feet of street frontage, or portion thereof, are allowed to have up to two monument signs. Such signs shall be separated from one another by a minimum of 150 feet, if located on the same street frontage.

Not applicable – the proposal is for one tenant.

- (5) Projecting signs are allowed up to 12 square feet of sign surface area and shall be framed or bracketed with wrought-iron-style trim. Projecting signs shall conform to the general requirements of BMC 19.30.070(9)(a) through (e).

No projecting signs are proposed. As the 43.9 square foot building-mounted sign is attached to a canopy and not the building wall itself, it would not meet the definition of “projecting sign” in Buckley Municipal Code which defines a projecting sign as “any sign that is attached to and projects 12 or more inches from the wall of a building.”

- (6) On lots where more than one monument sign is allowed, the sign area allowed for individual signs may be combined; provided, the combined sign does not exceed 50 square feet of sign surface area.

If a future, 2nd monument sign is proposed, the combined monument sign surface area shall not exceed 50 square feet of sign surface area.

- (7) Directional signs within multiple-tenant developments or business complexes shall not exceed three square feet of sign surface area.

Not applicable – this is a single-tenant development and it is not a business complex.

- (8) The maximum height for single-tenant monument signs shall be eight feet and for multiple tenants 12 feet.

The proposed monument sign is 5.4 feet high, atop a 2.5 foot base, and therefore meets maximum height requirements for a single-tenant development.

- (9) Setback. Monument signs shall be placed no closer than five feet from the edge of the public right-of-way and not in a sight distance triangle. (Ord. 22-08 § 1 (Exh. A), 2008; Ord. 05-06 § 1, 2006).

The proposed monument sign shall be set back at least five feet from the edge of the public right of way and shall be located outside the sight triangle.

19.30.180 Maintenance of Signs

All signs and landscape, including signs heretofore installed, shall be constantly maintained in a state of security, safety, and repair. If any sign is found not to be so maintained or is insecurely fastened or otherwise dangerous as determined by the building official, it shall be the duty of the owner and/or occupant of the premises on which the sign is fastened to repair or remove the sign within five working days after receiving notice from the building official, unless removal is required sooner by the building official for public safety reasons. For damaged or disrepaired signs, it shall be the duty of the owner and/or occupant to repair or remove the sign within 30 calendar days. The premises surrounding a sign shall be free and clear of rubbish and the required landscaping area free of weeds. (Ord. 22-08 § 1 (Exh. A), 2008; Ord. 05-06 § 1, 2006).

All signs shall be maintained according to requirements of BMC 19.30.180.

III Highway 410 Development Guidelines

From **BMC 19.51**: The following proposed or existing structures and fixtures are subject to review under the Highway 410 design review criteria if they meet all of the following criteria:

- (1) The structure or fixture is not a single-family detached residential dwelling, unless said detached single-family residential dwelling is used for commercial purposes;
- (2) The fixture is not a sign which is otherwise regulated under Chapter 19.30 BMC;
- (3) The structure or fixture lies in the HC, GC, CC, LI, NMU and P zones or is used for commercial purposes; and
- (4) The structure is proposed for property which abuts Highway 410 or is adjacent to properties that abut Highway 410 and such property is also subject to review for purposes of this chapter, and these properties abut one another on a common border or point. (Ord. 22-08 § 1 (Exh. A), 2008; Ord. 08-07 § 3, 2007; Ord. 22-05 § 1, 2005; Ord. 24-95 § 4, 1995).

Structures and fixtures from this application meet criteria 1-4 from BMC 19.51 and are therefore subject to the Highway 410 design review criteria.

The applicant shall be required to go through design review prior to any exterior modifications that deviate from the plans provided with this design review application.

4.2 Building Construction

Building and new development along Highway 410 should be designed to reflect and reinforce the rural character of the area. They should be reminiscent in form, material and detail of the traditional types of building in rural Pierce County, and particularly in Buckley Plateau. Traditional structures were primarily built here for the agricultural and timber industries, and they are straight-forward and functional in appearance.

The proposed coffee service building and site have a design geared toward serving coffee and is similar to other coffee businesses in the Buckley Plateau and rural Pierce County. While the proposed monument sign has a design that is not typically found in the Buckley Plateau, the building is straight-forward and functional in appearance.

4.2.1 Site Development:

Projects within the Highway 410 Review District shall be designed in compliance with all City of Buckley, Pierce County and Washington State planning and development requirements.

The proposed project shall be designed in compliance with City of Buckley, Pierce County and Washington State planning and development requirements. The City will review compliance with City, County and State development requirements as part of the required site plan review process for this project.

In addition projects subject to review shall include:

- a. A landscape buffer in conformity with the requirements specified in **BMC 19.29** shall be installed along the Highway 410 frontage.
- b. Off-street parking and landscaping within the parking area(s) shall conform to **BMC 19.28** and **BMC 19.29**.
- c. Roadway frontage improvements shall be required and shall consist of those specified in the

most recently adopted version of the City Buckley Development Guidelines and Public Works Standards.

Conformance with landscape buffer, off-street parking and landscaping, and frontage improvement requirements will be reviewed as part of the site plan review process. Proposed landscape buffers, off-street parking and landscaping, and frontage improvements shall conform with all section 4.2.1 requirements in the Buckley Highway 410 Development Guidelines, Buckley Municipal Code and Public Works Standards.

4.2.2 Scale and Form:

Projects shall relate to the scale and form of traditional agricultural and mill buildings. Traditional buildings often were added onto over the years. Farms and mills usually consisted of a cluster of similar buildings. New construction shall utilize these devices wherever possible to reduce the scale and apparent mass of larger projects.

The proposed coffee service building is of a scale and form typical of other coffee stands on the Buckley Plateau. The building form is simple and straightforward and is without unnecessary ornament. It contains sloping roofs with tall ceilings.

- a. Long, uninterrupted buildings and developments are not acceptable. Modulation and/or variation of the building facade is required by shifting the elevation no less than four (4) feet every eighty (80) feet of building length.

The proposed coffee service building is less than 80 feet long and thus meets this requirement.

- b. Individual buildings or developments shall not exceed 30,000 gross square feet in area.

The proposed coffee service building does not exceed 30,000 gross square feet.

- c. Individual buildings within overall developments shall be separated by no less than 25 feet of landscape buffer space unless otherwise approved by the DRC. Covered walkways may connect across buffer spaces.

The proposed project contains only one building and thus this requirement is not applicable.

- d. The architectural design of new projects shall take into consideration and respond to the scale and character of the rural landscape.

The proposed project is of a scale and character similar to other coffee stands, including Gravity Coffee approximately 250 yards southwest on Hwy 410.

- e. Overall architectural design shall be based on traditional agricultural and mill buildings.

The proposed architectural design is similar to other coffee stands. It does not appear to be based on traditional agricultural and mill buildings, although the cedar siding and metal roof are reminiscent of some agricultural and mill buildings.

4.2.3 Architecture and Structure:

- a. Where visible from the exterior, wood truss and heavy-timber structural systems are

recommended along with complimentary stone veneer(s).

The proposed exterior consists of metal roof, cedar and tile siding, cedar column and brace, and metal window and door framing.

- b. Buildings shall be no more than two stories and shall have sloping roofs with a minimum pitch of 6 in 12 unless otherwise specified by the DRC.

The proposed building is one story with a sloping roof and a pitch greater than 6 in 12.

- c. Roof forms shall incorporate simple gables and sheds with generous overhangs.

The proposed roof forms have simple gables and sheds with generous overhangs on the north and south sides and canopies along a portion of the west and east sides that also serve as generous overhangs over the drive-through and coffee service areas.

- d. Siding: Utilize horizontal beveled wood, wood shingle or vertical wood board and batten siding along with complimentary stone veneer(s) whenever possible. Where required by building code or for functional reasons, concrete and concrete masonry materials may be employed with approval of the DRC. In such cases concrete and concrete masonry shall be detailed to emulate traditional stone construction.

Most of the proposed siding for the coffee service building consists of semi-transparent oil base cedar. The lower three feet of siding have a 12" x 12" granite or porcelain tile which has a stone-like appearance. The siding is consistent with this design guideline.

- e. Roofing: Wood shingles or metal roofing shall be employed on all new construction unless otherwise approved by the DRC. Existing rural buildings have often replaced these materials with composition roofing, particularly patterns that reflect a wood shingle appearance may be acceptable for new projects.

The proposed roofing consists of prefinished standing seam steel which is consistent with this design guideline.

- f. Doors: Wood doors shall be simple in shape, large openings may be detailed to resemble traditional barn doors intended to accommodate animals and machinery.

The proposed doors have aluminum frames and glass faces (a mix of transparent and translucent glass).

- g. Windows: Windows shall be fixed, casement, awning or double hung, with a square or vertical orientation. Sliding windows are not acceptable. Wood or metal sash materials are acceptable. Break large areas of glass into smaller lights whenever possible. Newer, energy efficient, types may be considered by the DRC when constructed in a style that compliments the intent of these guidelines.

Proposed windows have aluminum frames with one sliding window proposed on both the east and west sides which is not consistent with design guidelines. The appearance is of several smaller windows rather than fewer large windows.

- h. Ornament: Ornament shall be minimized to reflect the utilitarian nature of the buildings. Achieve architectural interest through structural elements such as gable brackets, stone veneer, post and beams. Stress craftsmanship and the detailing of ventilators, corner boards.

The proposed design consists of minimal ornamentation.

4.2.4 Color:

Colors should generally be muted, earth tones and simple painting schemes as were typically used in these traditional buildings. Color schemes employing many colors or particularly bright colors shall be avoided. Natural, unpainted wood with a clear sealer, or wood painted grey, dull red or green are example of acceptable color palate.

Colors should be selected to emphasize building form and highlight major features. The use of brightly colored or glossy building materials such as metal or tile siding are not acceptable.

Building colors are primarily gray (roof and window/door frames), brown (siding), and a mix of beige, brown and gray (bottom of building siding). Sign colors are black, white, orange and red. Additional details are included in Exhibits 2 and 4. The brown, gray, beige, white and black colors are muted earth tones, while the red and orange colors are not.

4.3 Unifying Elements

4.3.1 Signage:

Allowable signs in the Highway 410 district shall be governed by the requirements of [BMC 19.30](#) and are divided into two types:

- a. Monument Ground Signs identifying a building or complex. These are large, direct signs that can be identified and understood at highway speeds from some distance away. The goal of this signage is to communicate a simple message clearly and in a manner that does not detract from the landscaped development of the highway.

One monument ground sign is proposed which identifies the name and logo of the business. This sign would be clearly viewed at the speed of cars traveling along Hwy 410.

- b. Signs are attached to building that identify the tenants and activities at a pedestrian oriented scale. These signs serve a similar purpose to the signage along downtown and shall be similar in design.

A proposed building-mounted sign is attached to the east side of the building which identifies the building tenant and activities at a pedestrian oriented scale. This sign is of a similar unique and creative character to some other, existing signs along Hwy 410 and Buckley's nearby Downtown.

4.3.2 Monument Ground Signs:

Signs identifying individual business buildings or multiple tenant complexes shall be coordinated with the City of Buckley's streetscapes concepts for the Highway 410 frontage.

- a. All such signs shall fall within the required landscape buffer along Highway 410.

The proposed monument sign appears to be and shall be located within the required landscape buffer along Highway 410.

- b. Sign body construction shall of concrete, wood or metal set on a concrete stone, or masonry foundation or base.

The proposed monument sign consists of a primarily metal (steel and aluminum) structure, with acrylic, vinyl and lexan graphics, set atop a fabricated aluminum pole cover base. Iron bracing is found within the aluminum pole cover.

4.3.3 Building Mounted Signs:

- a. Wall signs may be flush with or projecting from the building face.

The proposed building-mounted sign on the east side is attached to a canopy that extends 5 feet from the building wall. The proposed building-mounted "Drive-Thru" signs on the north and south sides are attached to the bottom of the roof overhang. Other signs on windows are all flush with the building face.

- b. Projecting signs may not extend more than four (4) feet from the building.

Buckley sign code defines projecting signs as "any sign that is attached to and projects 12 or more inches from the wall of a building." The 43.9 square foot "BIGFOOT JAVA" sign on the east side of the building is attached to the front of a canopy which extends 5 ft from the wall. As this sign is attached to a canopy and not the wall, it is not a projecting sign and thus this four foot requirement does not apply.

IV Conclusion and Recommendation

City staff recommends the conditional approval of the proposed sign and building designs. Conditions are outlined below.

- 1. Any future signs shall be on-premises signs.**
- 2. The applicant shall be required to comply with the building code prior to receiving a sign permit.**
- 3. All structural, building and architectural plans shall be reviewed by the Building Department.**
- 4. All signs shall be maintained pursuant to [BMC 19.30.170](#) and [19.30.180](#).**
- 5. Sign landscaping shall comply with sign design guideline #6 and [BMC 17.08](#).**
- 6. The applicant shall include façade improvements, consistent with Buckley landscaping code, such as planter boxes and hanging baskets immediately adjacent to the building.**
- 7. All proposed signs shall be inspected by the Building Department pursuant to [BMC 19.30.170](#).**
- 8. The proposed monument sign shall be set back at least five feet from the property line and shall be located outside the sight triangle. Any proposed signs shall be situated in a manner so as not to adversely affect safety or corner vision.**
- 9. Light from the signs shall only illuminate sign letters and shall not spill over the property lines in any direction except by indirect reflection.**
- 10. Wall signs shall not extend above the highest exterior wall upon which the sign is located.**
- 11. Signs shall not cause a visual or physical obstruction to a public right-of-way or pedestrian way.**
- 12. The proposed monument sign and any building-mounted signs fronting Highway 410 shall be located on and face upon the street frontage that determined the allowable sign area.**
- 13. Building signage shall not exceed 100 square feet for the building as a whole. It also shall not exceed 60 square feet on the west side, 25.5 square feet on the south side, 75.5 square feet on the east side, or 71.5 square feet on the north side.**
- 14. If a future, 2nd monument sign is proposed, the combined monument sign surface area shall not exceed 50 square feet of sign surface area.**
- 15. The proposed monument sign shall be set back at least five feet from the edge of the public right of way.**
- 16. The applicant shall be required to go through design review prior to any exterior modifications that deviate from the plans provided with this design review application.**
- 17. The proposed project shall be designed in compliance with City of Buckley, Pierce County and Washington State planning and development requirements.**
- 18. Proposed landscape buffers, off-street parking and landscaping, and frontage improvements shall conform with all section 4.2.1 requirements in the Buckley Highway 410 Development Guidelines.**
- 19. The proposed monument sign shall be located within the required landscape buffer along Highway 410.**

V Exhibits

- 1) Design Review Application**
- 2) Site Plan and Building Elevation Drawings**
- 3) Landscape and Irrigation Plans**
- 4) Sign Drawings, Details and Locations**
- 5) Example Bigfoot Java Site Pictures**

Exhibit 1: Bigfoot Java Design Review Application



CITY OF BUCKLEY ♦ PO BOX 1960 ♦ BUCKLEY, WA 98321
360-829-1921 ♦ Fax 360-829-2659 ♦ www.cityofbuckley.com

CITY OF BUCKLEY GENERAL USE APPLICATION

- | | |
|--|---|
| <input type="checkbox"/> LAND DISTURBING PERMIT | <input type="checkbox"/> SIGN PERMIT |
| <input type="checkbox"/> RIGHT-OF-WAY USE PERMIT | <input checked="" type="checkbox"/> DESIGN REVIEW |
| <input type="checkbox"/> CRITICAL AREAS PERMIT | |

(Check all that apply)

NO WORK OR ACTIVITY MAY BE STARTED WITHOUT APPROVAL AND ISSUANCE OF A PERMIT.

1. Applicant/Property Owner: BIGFOOT JAVA Phone # 253 261 3258
Address: 420 ELLINGSON RD #200 PACIFIC, WA 98047
E-Mail address: JENNIFER@BIGFOOTJAVA.COM
2. Contractor/Installer: TBD Phone # _____
Address: _____
E-Mail address: _____
Contact Person: MIKE BAILY - LDG ARCHITECTS Contractor Lic. # _____
E-Mail address: MIKE@LDGARCHITECTS.COM - 206 283 4764
3. Project Location: 491 MAIN STREET, BUCKLEY, WA 98321
4. Project Description/Activity: REMOVE EXISTING RETAIL STRUCTURE AND DEVELOP A NEW DUAL DRIVE THRU COFFEE BUILDING
5. Provide site plan and project design specifications check
6. Provide a complete environmental checklist for SEPA review*: check
*(if required by the City)
7. *If clearing, grading and/or filling:
Estimate number of cubic yards: 13 if over 500 cubic yards, attach SEPA checklist.
 Regraded Removed from site Imported to site Other

Maximum height of fill⁰ _____ Maximum depth of cut²⁴ _____

Square footage of area to be covered with impervious surface^{8,156 - 70%} _____

8. * If sign and/or fence:

Setback distance from property line^{32'} _____ Proposed height of structure (sign or fence)^{23'} _____

Application is for: Monument Sign Wall Mounted Sign Other

Note: Sign must be designed for 90 mph wind and seismic zone 3: Exposure B Exposure C

9. Describe and identify on site plan any streams, drainage course or wetlands known or suspected within 200 feet of the property:

NONE

10. Identify whether or not the project will effect or impact the flow of stormwater across the property. If the project will impact a flow please indicate on the site plan the current drainage pattern and how the project will effect the flow:

A NEW STORM DRAINAGE SYSTEM CONSTING OF CB WILL BE PROVIDED AND CONNECTED TO CITY SYSTEM

11. GENERAL CONDITIONS: Applicant shall;

- a. Comply with all applicable city ordinances, City design and construction standards, specifications, policies and administrative procedures.
- b. Agree to defend, indemnify and hold harmless the City of Buckley, its officers, employees and agents, from any and all suits, claims, causes of action or liabilities caused by or arising out of any activities conducted by the permittee resulting from issuance of the permit.
- c. Agree to maintain ingress and egress for vehicles and persons to abutting property at all times, unless written consent for an alternative plan is obtained from the City and impacted business or property owner.
- d. Agree to be responsible for providing adequate work zone safety controls for the protection of public pedestrians and vehicular traffic in and around the site.
- e. Agree to be responsible for restoration and clean-up of the street, sidewalk, curb and gutter and adjacent property to original or better condition immediately upon completion of the project.
- f. Agree to be responsible for providing a safe work environment for its employees according to OSHA and WISHA standards.
- g. Agree to be responsible for all site security during non-construction hours including providing adequate warning devices and barriers to hazardous conditions.
- h. Agree to be responsible for the protection of all foundations, buildings, fences, walls or other property likely to be damaged during the progress of the project, and agree to be responsible for the repair of any damaged items.
- i. Agree to be responsible for the security and protection of any unguarded machinery, equipment, materials or other device having the characteristic of an attractive nuisance likely to attract children and hazardous to their safety.
- j. Agree to be responsible for the location of all public and private utilities prior to any excavation work. **CALL FOR UTILITY LOCATES 1-800-424-5555 2 DAYS PRIOR TO DIGGING.**
- k. Agree to be responsible for protecting all public and private utilities from damage while excavation work is being done.
- l. Agree to be responsible for damage to private property due to damage to utilities, such as water pipes, sewer, gas pipe, electric conduit or other utility.
- m. Agree that he/she has read and understood the City's Stormwater Sedimentation and Erosion Control Guidelines and agrees to comply with the provisions as outlined.

- n. Agree to obtain all other required local, State and/or Federal permits or licenses associated with this work.
- o. Traffic controls, signs, road obstructions, barricades, and traffic control plans shall be in accordance with Part VI of the Manual on Uniform Traffic Control devices.
- p. Be aware the City may require a performance bond to conduct work within the public right-of-way.
- q. Failure to comply with these conditions may result in a posting of a **Stop Work Order**, which will remain in-place until the issue(s) resulting in the posting of a **Stop Work Order** are resolved to the satisfaction of the Public Works and/or Building Department.

Note: The total fee associated with this permit for which the applicant is responsible shall be the amount of the actual costs incurred by the city during the permit review process (see BMC 20.01.265).

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not provide authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction. I also acknowledge that it is my responsibility to maintain public streets free of dirt and debris.

Wai Tang Chu 7-18-19
 SIGNATURE OF APPLICANT* DATE

* (Must be the owner of the property or have a documented legal ownership interest verified by the City)

WORK AUTHORIZED BY THIS PERMIT MUST BE COMMENCED WITHIN 120 DAYS OF THE DATE OF ISSUANCE OR APPROVAL. THIS PERMIT EXPIRES 18 MONTHS AFTER ISSUANCE.

Agency Use Only:		
SPECIAL CONDITIONS:		
Payment of permit fee of \$	Receipt #	
City Administrator	Date	
Public Works Superintendent	Date	
City Planner	Date	
City Building Official	Date	Permit Expiration Date
This permit is issued in conjunction with one or more of the following:		
<input type="checkbox"/> Valid building permit	<input type="checkbox"/> Utility extension	<input type="checkbox"/> Property access road
<input type="checkbox"/> Conditional use permit	<input type="checkbox"/> Approved short plat	<input type="checkbox"/> SEPA approval
<input type="checkbox"/> Approved street, water, storm and sanitary sewer construction drawings for a preliminary plat or site plan;		

Exhibit 2: Site Plan and Building Elevation Drawings

BIGFOOT JAVA DRIVE THRU

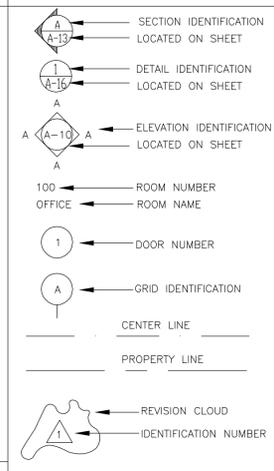
491 MAIN STREET BUCKLEY, WASHINGTON

LEGAL DESCRIPTION

0619033005:
SECTION 03 TOWNSHIP 19 RANGE 06 QUARTER 31 : BEG AT INTER OF S LI OF MAIN ST IN BUCKLEY WITH NWLY LI OF N P R/W TH W 93 FT S TO SD R/W NELY TO BEG

0619033006:
SECTION 03 TOWNSHIP 19 RANGE 06 QUARTER 31 : BEG 70 FT E OF INTER OF S LI OF MAIN ST IN BUCKLEY WITH W 1/16 LI OF SEC TH E 50 FT S 120 FT W 50 FT N 120 FT TO BEG

SYMBOLS



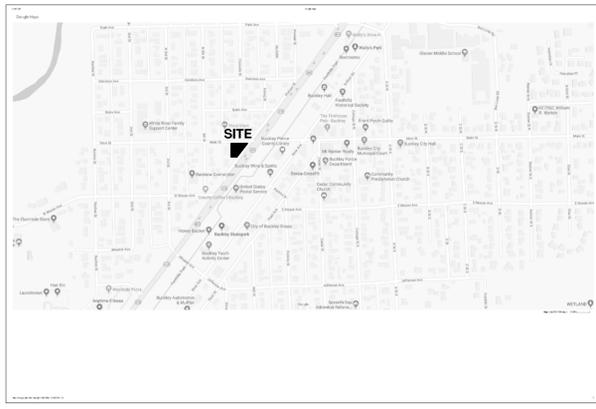
ABBREVIATIONS

∠	ANGLE	DEPT	DEPARTMENT	GYP	GYP SUM	S.	SOUTH CORE
CL	CENTERLINE	DET	DETAIL	H.B.	HOSEBIB	S.C.	SOLID CORE
J	PERPENDICULAR	DIA	DIAMETER	H.C.	HOLLOW CORE	S/V	STAIN/VARNISH
#	FOUND/NUMBER	HDP	HANDICAP	S/W	SIDEWALK	SCHED	SCHEDULE
&	AND	DIM	DIMENSION	HDWD	HARDWOOD	SHT	SHEET
⊙	AT	DN	DOWN	HDWR	HARDWARE	SHT'G	SHEATHING
A.B.	ANCHOR BOLT	DR.	DOOR	HR.	HORIZONTAL	SIM	SIMILAR
ACOUS	ACOUSTICAL	DWG	DRAWING	HT	HEIGHT	SPEC	SPECIFICATION
AFF	ABOVE FIN. FLR	E	EAST	HT	HEIGHT	SO.	SQUARE
AGGR	AGGREGATE	E.J.	EXPANSION JOINT	INST	INSTALLATION	STD	STANDARD
ALUM	ALUMINUM	EA	EACH	INSUL	INSULATION	STL	STEEL
ANOD	ANODIZED	EL	ELECTRICAL	INT	INTERIOR	STRUC	STRUCTURAL
APRDX	APPROXIMATE	EL	ELEVATION	LAM	LAMINATED	SUSP	SUSPENDED
ARCH	ARCHITECTURAL	ELEV	ELEVATION	LB	LB	SVC	SERVICE
ASPH	ASPHALT	ENCL	ENCLOSURE	LOC	LOCATION	SYM	SYMMETRICAL
BD.	BOARD	EP	ELECT.PANEL	M.H.	MANHOLE	T	TREAD
BLDG	BUILDING	EQ.	EQUAL	MATL	MATERIAL	T&G	TOUNG&GROVE
BLK	BLOCK	EQUIP.	EQUIPMENT	MAX	MAXIMUM	T.C	TOP OF CURB
BLK'G	BLOCKING	EXIST	EXISTING	MECH	MECHANICAL	TEL	TELEPHONE
BM	BEAM	EXPO	EXPOSED	MFR	MANUFACTURE	THK	THICK
BOT	BOTTOM	EXT	EXTERIOR	MIN	MINIMUM	TP	TOP OF PLATE
BUR	BUILT UP ROOFING	F.D.	FLOOR DRAIN	MISC	MISCELLANEOUS	TW	TOP OF WALL
C.B.	CATCH BASIN	F.E.	FIRE EXTINGUISHER	MTD	MOUNTED	TYP	TYPICAL
C.J.	CONTROL JOINT	F.F.	FINISH FLOOR	MTL	METAL	UNIF	UNIFORM BUILDING CODE
C.O.	CLEAN OUT	FLASH	FLASHING	N	NORTH	UNF	UNFINISHED
CAB	CABINET	FLR	FLOOR	NIC	NOT IN CONTRACT	UDN	UNLESS OTHERWISE NOTED
CEM	CEMENT	FLUOR	FLUORESCENT	NO.	NUMBER	VERT	VERTICAL
CH	CHANNELED	FOUND	FOUNDATION	NTS	NOT TO SCALE	W	WEST
CLG	CLEAR	FRM'G	FRAMING	O.C.	ON CENTER	W.P.	WATERPROOF
CLR	CLEAR	FT	FOOT/FEET.	O/	OVER	W.R.	WATER RESISTANT
COL	COLUMN	FTG	FOOTING	OPP	OPPOSITE	W/	WITH
CONC.	CONCRETE	FURR	FURRING	P.I.	POST INDICATOR	W/O	WITHOUT
CONN	CONNECTION	G.C.	GENERAL CONTR.	P.P.	POWERPOLE	WD	WOOD
CONST	CONSTRUCTION	GA	GAUGE	PL	PLATE	WSCT	WAINSCOTE
CONT	CONTINUOUS	GALV	GALVANIZED	PLYWD	PLYWOOD	WT	WEIGHT
CT	CERAMIC TILE	GL	GLASS	R.	RADIUS/RISER		
CTR	CENTER	GND	GROUND	R.D.	ROOF DRAIN		
CTSK	COUNTERSUNK	GP	GROUP	REC.	RECOMMEND		
D.S.	DOWNSPOUT	GR	GRADE	REF	REFERENCE		
DBL	DOUBLE	GWB	GYP SUM WALL BD	RM	ROOM		

CONSULTANTS

ARCHITECT LINARDIC DESIGN GROUP 6526 15TH AVE NW #220 SEATTLE, WA 98117 (206) 283-4764	STRUCTURAL ENGINEER CT ENGINEERING 180 NICKERSON STREET #302 SEATTLE, WA 98109 (206) 285-4512 FAX (206) 285-0618
PROPERTY OWNER CHEN WEI T & CHAO KUEI CHANG PO BOX 872 BUCKLEY, WA 98321	TENANT BIGFOOT JAVA 420 ELLINGSON RD PACIFIC, WA 98047 253 833 7863

VICINITY MAP



TITLE INDEX

A0.0	COVER SHEET
ARCHITECTURAL:	
A1.0	SITE PLAN
A1.0	SURROUNDING SITE PLAN
A1.2	SITE DETAILS
A3.0	EXTERIOR ELEVATIONS & DETAILS
LANDSCAPING	
L-1	PLANTING PLAN
L-2	IRRIGATION PLAN
SIGNAGE	
1	MONUMENT SIGN
2	ELEVATION
3	ELEVATION
4	SITE
BUILDING PHOTOS	

PROJECT DATA

BUILDING CODE:	IBC 2015
SITE ADDRESS:	491 MAIN STREET
SITE AREA:	11,595 SQ. FT. 0.26 ACRES
ZONING:	CC
TAX NUMBER:	0619033005, 0619033006
OCCUPANCY:	M
CONSTRUCTION TYPE:	VB
BUILDING AREA:	650 SQ. FT.
BUILDING HEIGHT:	24'-6"
IMPERVIOUS AREA:	8,156 SQ. FT. -70%
LANDSCAPE AREA:	3,439 SQ. FT. PERVIOUS AREA
PARKING:	3
SCOPE OF WORK:	REMOVE EXISTING STRUCTURE AND PROVIDE A NEW DUAL DRIVE THRU COFFEE DEVELOPMENT. NEW LANDSCAPE PER CODE AND REMOVAL OF INTERIOR LOT LINE

GENERAL NOTES CONT.

COMMISSIONING REQUIREMENTS:

C408.1 GENERAL. THIS SECTION COVERS THE COMMISSIONING OF THE BUILDING MECHANICAL SYSTEMS IN SECTION C403, SERVICE WATER HEATING SYSTEMS IN SECTION C404, ELECTRICAL POWER AND LIGHTING SYSTEMS IN SECTION C405 AND ENERGY METERING IN SECTION C409. PRIOR TO PASSING THE FINAL MECHANICAL AND ELECTRICAL INSPECTIONS OR OBTAINING A CERTIFICATE OF OCCUPANCY, THE REGISTERED DESIGN PROFESSIONAL OR APPROVED AGENCY SHALL PROVIDE EVIDENCE OF SYSTEMS COMMISSIONING AND COMPLETION IN ACCORDANCE WITH THE PROVISIONS OF THIS SECTION. COPIES OF ALL DOCUMENTATION SHALL BE GIVEN TO THE OWNER AND MADE AVAILABLE TO THE CODE OFFICIAL UPON REQUEST IN ACCORDANCE WITH SECTIONS C408.1.2 AND C408.1.3.

C408.1.1 COMMISSIONING PLAN. A COMMISSIONING PLAN SHALL BE DEVELOPED BY A REGISTERED DESIGN PROFESSIONAL OR APPROVED AGENCY AND SHALL INCLUDE THE FOLLOWING ITEMS: 1. A NARRATIVE DESCRIPTION OF THE ACTIVITIES THAT WILL BE ACCOMPLISHED DURING EACH PHASE OF COMMISSIONING, INCLUDING THE PERSONNEL INTENDED TO ACCOMPLISH EACH OF THE ACTIVITIES. 2. ROLES AND RESPONSIBILITIES OF THE COMMISSIONING TEAM. 3. A SCHEDULE OF ACTIVITIES INCLUDING SYSTEMS TESTING AND BALANCING, FUNCTIONAL TESTING, AND SUPPORTING DOCUMENTATION. 4. A LISTING OF THE SPECIFIC EQUIPMENT, APPLIANCES OR SYSTEMS TO BE TESTED AND A DESCRIPTION OF THE TESTS TO BE PERFORMED. 5. FUNCTIONS TO BE TESTED. 6. CONDITIONS UNDER WHICH THE TEST WILL BE PERFORMED. 7. MEASURABLE CRITERIA FOR PERFORMANCE.

C408.1.2 PRELIMINARY COMMISSIONING REPORT. A PRELIMINARY REPORT OF COMMISSIONING TEST PROCEDURES AND RESULTS SHALL BE COMPLETED AND CERTIFIED BY THE REGISTERED DESIGN PROFESSIONAL OR APPROVED AGENCY AND PROVIDED TO THE BUILDING OWNER. THE REPORT SHALL BE IDENTIFIED AS "PRELIMINARY COMMISSIONING REPORT" AND SHALL IDENTIFY:

- ITEMIZATION OF DEFICIENCIES FOUND DURING TESTING REQUIRED BY THIS SECTION THAT HAVE NOT BEEN CORRECTED AT THE TIME OF REPORT PREPARATION.
- DEFERRED TESTS THAT CANNOT BE PERFORMED AT THE TIME OF REPORT PREPARATION BECAUSE OF CLIMATIC CONDITIONS, WITH ANTICIPATED DATE OF COMPLETION.
- CLIMATIC CONDITIONS REQUIRED FOR PERFORMANCE OF THE DEFERRED TESTS.
- RECORD OF PROGRESS AND COMPLETION OF OPERATOR TRAINING.

C408.1.2.1 ACCEPTANCE OF REPORT. BUILDINGS, OR PORTIONS THEREOF, SHALL NOT PASS THE FINAL MECHANICAL AND ELECTRICAL INSPECTIONS OR OBTAIN A CERTIFICATE OF OCCUPANCY, UNTIL SUCH TIME AS THE CODE OFFICIAL HAS RECEIVED A LETTER OF TRANSMITTAL FROM THE BUILDING OWNER ACKNOWLEDGING THAT THE BUILDING OWNER HAS RECEIVED THE PRELIMINARY COMMISSIONING REPORT. COMPLETION OF THE COMMISSIONING COMPLIANCE CHECKLIST (FIGURE C408.1.2.1) IS DEEMED TO SATISFY THIS REQUIREMENT.

C408.1.2.2 COPY OF REPORT. THE CODE OFFICIAL SHALL BE PERMITTED TO REQUIRE THAT A COPY OF THE PRELIMINARY COMMISSIONING REPORT BE MADE AVAILABLE FOR REVIEW BY THE CODE OFFICIAL.

C408.1.3 DOCUMENTATION REQUIREMENTS. THE CONSTRUCTION DOCUMENTS SHALL SPECIFY THAT THE DOCUMENTS DESCRIBED IN THIS SECTION BE PROVIDED TO THE BUILDING OWNER WITHIN 90 DAYS OF THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY.

C408.1.3.1 RECORD DOCUMENTS. CONSTRUCTION DOCUMENTS SHALL BE UPDATED TO CONVEY A RECORD OF THE ALTERATIONS TO THE ORIGINAL DESIGN. SUCH UPDATES SHALL INCLUDE UPDATED MECHANICAL, ELECTRICAL AND CONTROL DRAWINGS RED-LINED, OR REDRAWN IF SPECIFIED, THAT SHOW ALL CHANGES TO SIZE, TYPE AND LOCATIONS OF COMPONENTS, EQUIPMENT AND ASSEMBLIES.

C408.1.3.2 MANUALS. AN OPERATING AND MAINTENANCE MANUAL SHALL BE PROVIDED AND INCLUDE ALL OF THE FOLLOWING:

- SUBMITTAL DATA STATING EQUIPMENT SIZE AND SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE.
- MANUFACTURER'S OPERATION MANUALS AND MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE, EXCEPT EQUIPMENT NOT FURNISHED AS PART OF THE PROJECT. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED.
- NAME AND ADDRESS OF AT LEAST ONE SERVICE AGENCY.
- CONTROL SYSTEM MAINTENANCE AND CALIBRATION INFORMATION, INCLUDING WIRING DIAGRAMS, SCHEMATICS, RECORD DOCUMENTS, AND CONTROL SEQUENCE DESCRIPTIONS. DESIRED OR FIELD-DETERMINED SETPOINTS SHALL BE PERMANENTLY RECORDED ON CONTROL DRAWINGS AT CONTROL DEVICES OR, FOR DIGITAL CONTROL SYSTEMS, IN SYSTEM PROGRAMMING INSTRUCTIONS.

C408.2.2.1 AIR BALANCING EACH SUPPLY AIR OUTLET AND ZONE TERMINAL DEVICE SHALL BE EQUIPPED WITH MEANS FOR AIR BALANCING IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 6 OF THE INTERNATIONAL MECHANICAL CODE. DISCHARGE DAMPERS USED FOR AIR SYSTEM BALANCING ARE PROHIBITED ON CONSTANT VOLUME FANS AND VARIABLE VOLUME FANS WITH MOTORS 10 HP (18.6 KW) AND LARGER. AIR SYSTEMS SHALL BE BALANCED IN A MANNER TO FIRST MINIMIZE THROTTLING LOSSES THEN, FOR FANS WITH SYSTEM POWER OF GREATER THAN 1 HP (0.74 KW), FAN SPEED SHALL BE ADJUSTED TO MEET DESIGN FLOW CONDITIONS EXCEPT: FANS WITH FAN MOTORS OF 1 HP (0.74 KW) OR LESS

GENERAL NOTES

- INSTALL MATERIALS/PRODUCTS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO THE ARCHITECT'S CONSTRUCTION DOCUMENTS.
- DO NOT SCALE DRAWINGS.
- ALL WORK SHALL CONFORM WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC), OSHA, INTERNATIONAL FIRE CODE (IFC), WAGO ST ENERGY CODE AND ALL OTHER APPLICABLE CODES AND GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK THAT HAS BEEN PERFORMED WHICH DOES NOT MEET THESE CODES AND REGULATIONS.
- VERIFY ALL EXISTING SITE AND NEW PLAN DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT ANY VARIANCE OR DISCREPANCY TO THE ARCHITECT.
- THE CONSTRUCTION WORK SHALL BE LIMITED TO THE IMMEDIATE AREA IN WHICH THE WORK IS BEING PERFORMED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF ALL THE DEBRIS AND DUST THROUGHOUT THE SITE WHICH IS A RESULT OF THIS CONSTRUCTION PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS FOR THE SITE. ALL COSTS FOR THE REMOVAL OF CONSTRUCTION DEBRIS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL STRIVE TO MAINTAIN A CLEAN AND DEBRIS-FREE WORKING SITE.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES AND PIPING BEFORE BEGINNING WORK. PROTECT OR MOVE UTILITIES AS REQUIRED.
- PATCH AND REPAIR ALL AREAS INVOLVING DEMOLITION WORK TO MATCH ADJACENT EXISTING CONDITIONS OR TO ACCEPT NEW CONSTRUCTION (SEE NEW PLAN).
- REPORT IMMEDIATELY TO THE ARCHITECT ANY DISCREPANCIES AND CONDITIONS WHICH MAY DIFFER FROM THE DRAWINGS OR SPECIFICATIONS.
- ALL QUESTIONS PERTAINING TO THE CONSTRUCTION AND MEANING OF DRAWINGS OR SPECIFICATIONS SHALL BE DECIDED UPON BY THE ARCHITECT OR IN THE CASE OF A STRUCTURAL OR CIVIL DRAWING, THE ENGINEER.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, CATALOG INFORMATION, ILLUSTRATIONS, SPECIFICATIONS, ETC., UPON THE REQUEST OF THE ARCHITECT FOR VERIFICATION OF THE DESIGN INTENT, FIELD MEASUREMENTS, AND CONFIRMATION OF THE CONTRACT DOCUMENTS. FAILURE TO DO SO WITH INDEMNIFY THE ARCHITECT FROM THE RESPONSIBILITY FOR SUCH WORK.
- ALL MECHANICAL AND ELECTRICAL WORK SHALL CONFORM TO ALL PERTINENT CODES AND REGULATIONS OF MUNICIPAL, COUNTY, AND STATE AUTHORITIES, THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE NATIONAL ELECTRICAL CODE, UNIFORM MECHANICAL CODE, AND OTHER REGULATORY BODIES WITH JURISDICTION OVER THE WORK.
- PROVIDE (1) UL LISTED FIRE EXTINGUISHER.
- PROVIDE BUILDING ADDRESS ON EXTERIOR FACE OF BUILDING IN LOCATION ILLUSTRATED ON PLANS. LETTERS AND/OR NUMBERS TO BE 12" HIGH MINIMUM.
- PROVIDE HORIZONTAL FIREBLOCKING IN ALL WOOD FRAME WALLS AT 10'-0" ON CENTER. FIREBLOCK IN ACCORDANCE WITH I.B.C. SEC. 717.
- DOORS SHALL BE WEATHERSTRIPPED. WINDOWS SHALL BE CAULKED AND SEALED PER ENERGY CODE.
- GLAZING SHALL BE DOUBLE-PANE \ " AIR SPACE AT A MINIMUM, WITH U-FACTOR 0.30.
- TRAP PRIMERS ARE TO BE PROVIDED AT ALL FLOOR DRAINS
- CLEANOUTS ARE REQUIRED AT ALL SINKS EXCEPT AT THE REST ROOM LAV
- ANY SIDEWALK CUT MUST BE REPLACED IN KIND. COLORED CONCRETE AND STAMPING MUST BE REPLICATED LIKE THE EXISTING SIDEWALK

LDG architects
linardic design group . architects
6525 15TH AVE NW
seattle, wa 98117 (206)283-4764

NOT PUBLISHED. ALL RIGHTS RESERVED. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENT THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED OR DISTRIBUTED TO OTHERS, SOLD, PUBLISHED OR OTHERWISE USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



consultants:

project title:

PROPOSED PROJECT FOR:
**BIGFOOT JAVA
MAIN STREET**

BUCKLEY, WA

sheet title:

COVER SHEET

DESIGN REVIEW APPLICATION	7-16-2019
no: revisions	date:
job no:	sheet no:
draw:	A-0.0
checked:	
date: 7-1-2019	

NOT PUBLISHED. ALL RIGHTS RESERVED. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS DESIGNS AND ARRANGEMENTS REPRESENT THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED OR DISTRIBUTED TO OTHERS, SOLD, PUBLISHED, OR OTHERWISE USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



consultants:

project title:

**PROPOSED PROJECT FOR:
BIGFOOT JAVA
MAIN STREET**

BUCKLEY, WA

sheet title:

**SURROUNDING
SITE PLAN**

DESIGN REVIEW APPLICATION	7-16-2019
---------------------------	-----------

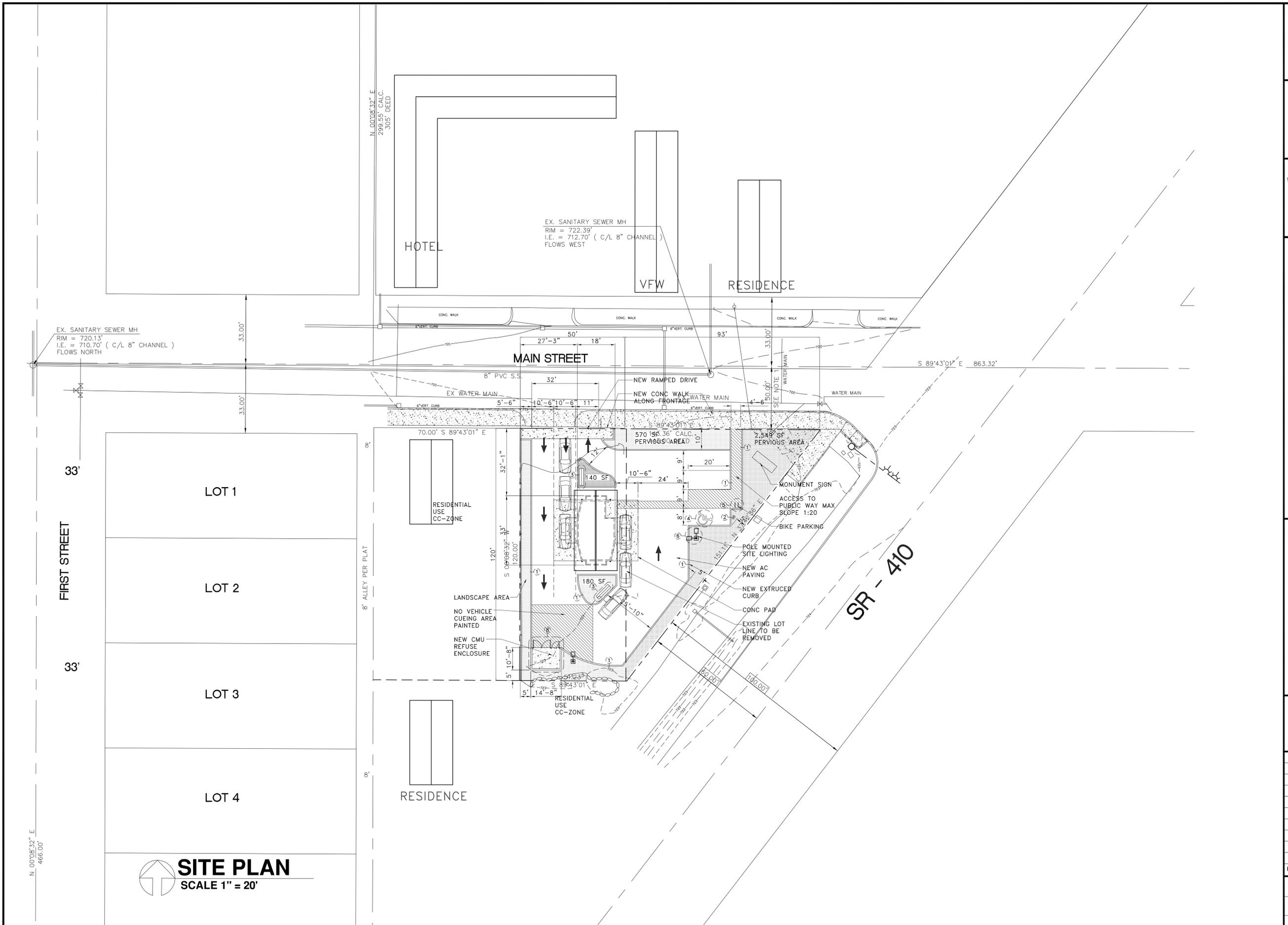
no: revisions	date:
---------------	-------

job no:	sheet no:
---------	-----------

draw:	A-1.1
-------	--------------

checked:

date: 7-1-2019



SITE PLAN
SCALE 1" = 20'

NOT PUBLISHED. ALL RIGHTS RESERVED. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENT THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, DISCLOSED OR DISTRIBUTED TO OTHERS, SOLD, PUBLISHED, OR OTHERWISE USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO THE ARCHITECT. VISUAL CONTACT WITH THE ABOVE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



consultants:

project title:

PROPOSED PROJECT FOR:
**BIGFOOT JAVA
MAIN STREET**

BUCKLEY, WA

sheet title:

**BIG FOOT COFFEE
EXTERIOR ELEVATIONS**

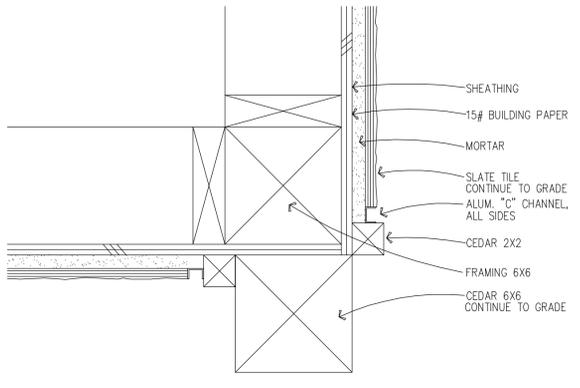
DESIGN REVIEW APPLICATION	7-16-2019
---------------------------	-----------

no: revisions date:

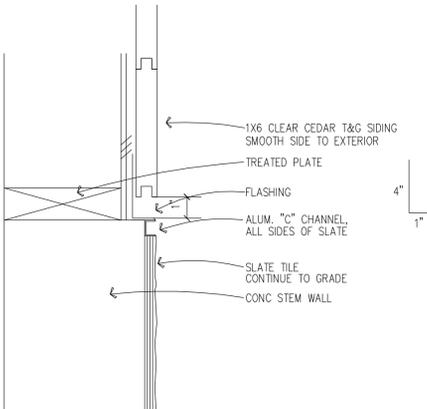
job no: sheet no:

draw: checked: **A - 3.0**

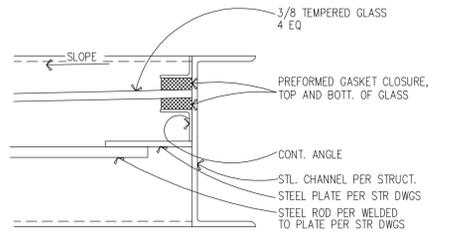
date: 7-1-2019



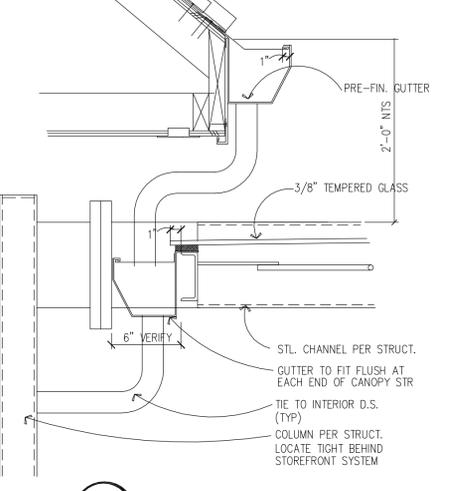
1 CORNER DETAIL
BIGFOOT JAVA 3"=1'-0"



2 SLATE TO WOOD SIDING DETAIL
BIGFOOT JAVA 3"=1'-0"

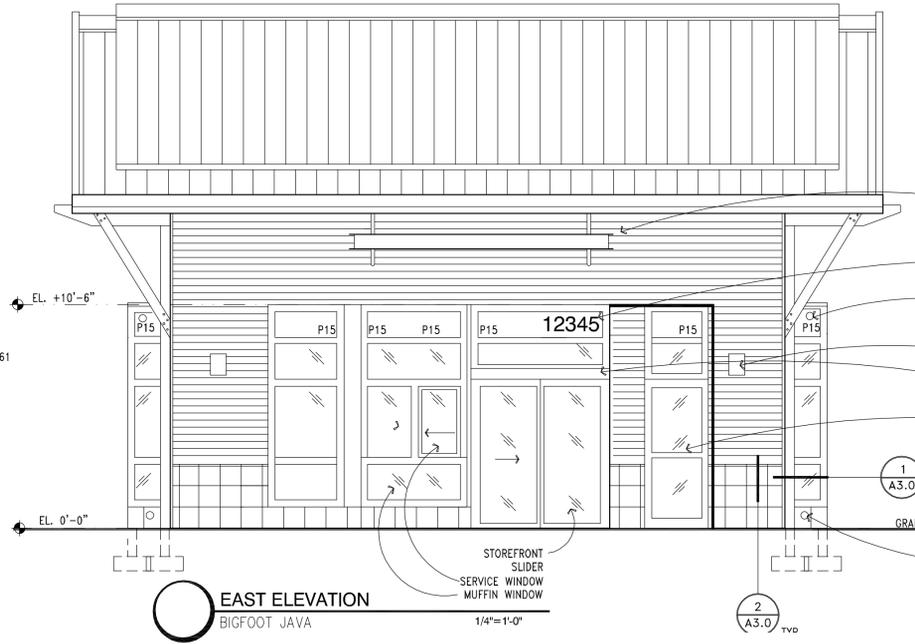


3 METAL CANOPY DETAIL
BIGFOOT JAVA 3"=1'-0"

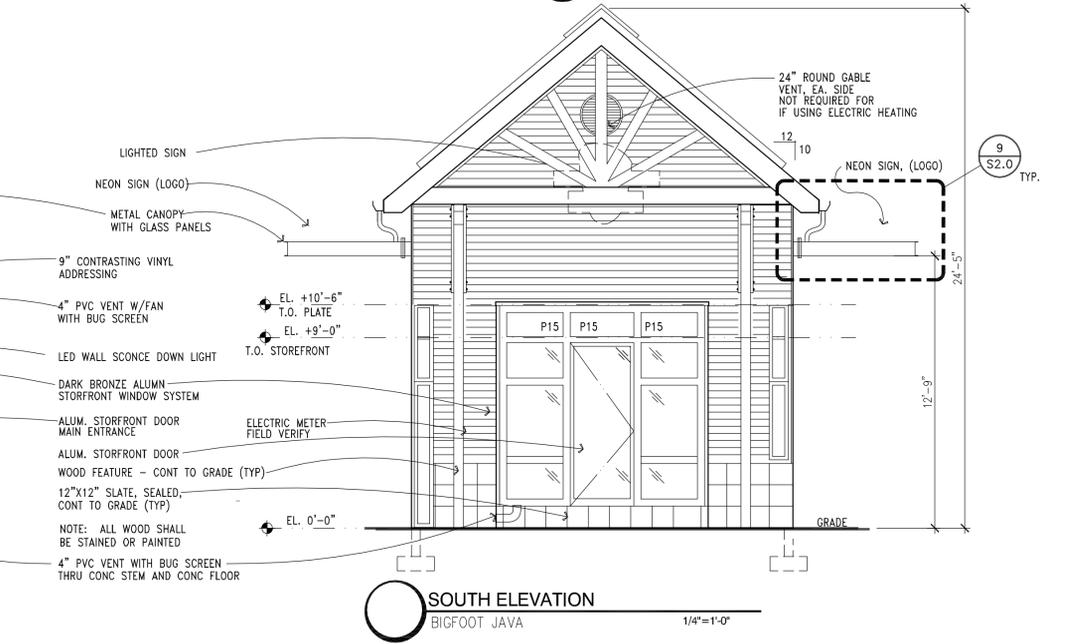


4 METAL CANOPY DETAIL
BIGFOOT JAVA 1 1/2"=1'-0"

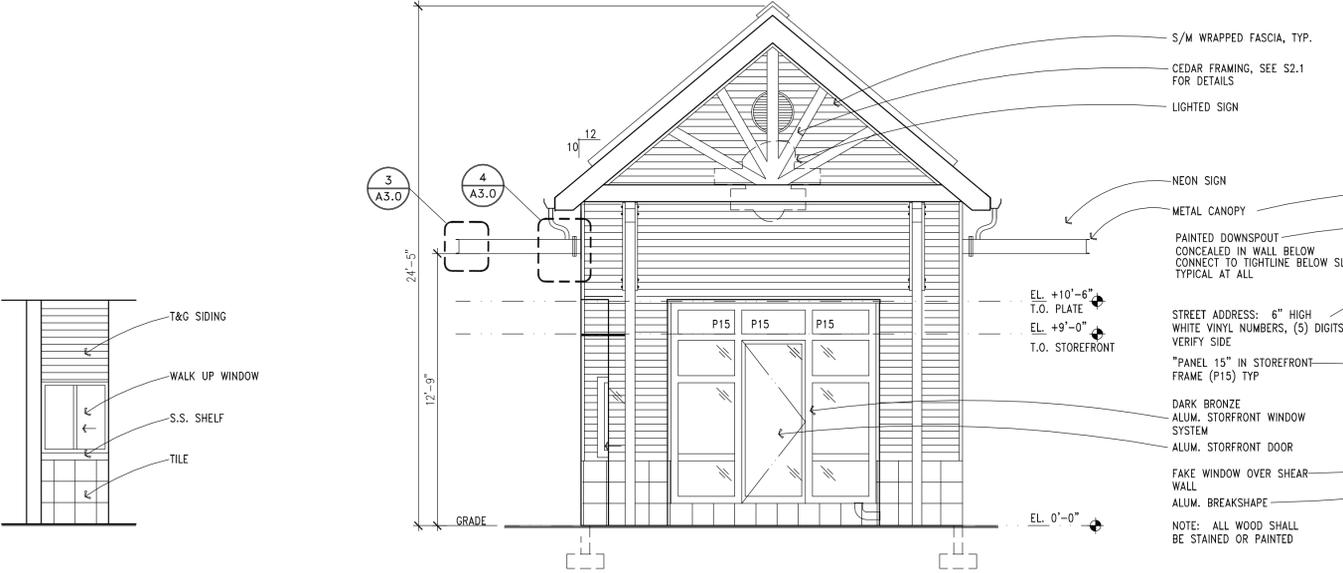
- INTERIOR FINISHES:**
 INTERIOR WALLS AND CEILING: SHERWIN WILLIAMS PROMAR 200 ZERO VOC EGG SHELL B20W126S1 (GRAY) CONTRACTOR TO VERIFY WITH OWNER
 INTERIOR DOORS AND COL: SHERWIN WILLIAMS DTM SEMI GLOSS - SW6062 - CONTRACTOR TO VERIFY WITH OWNER
- EXTERIOR FINISHES:**
 EXTERIOR SIDING: SHERWIN WILLIAMS SEMI TRANSPARENT OIL BASE CEDAR #SW3561
 EXTERIOR BEAMS: SEMI GLOSS TRANSPARENT SPAR URETHANE NDOW
 EXTERIOR CANOPY STR: SHERWIN WILLIAMS ENAMEL 6258 TRICORN BLACK
 BOLLARDS: SHERWIN WILLIAMS ENAMEL 6258 TRICORN BLACK CONTRACTOR TO VERIFY WITH OWNER
 ROOFING: AEP SPAN 22 GA ZINCALUME



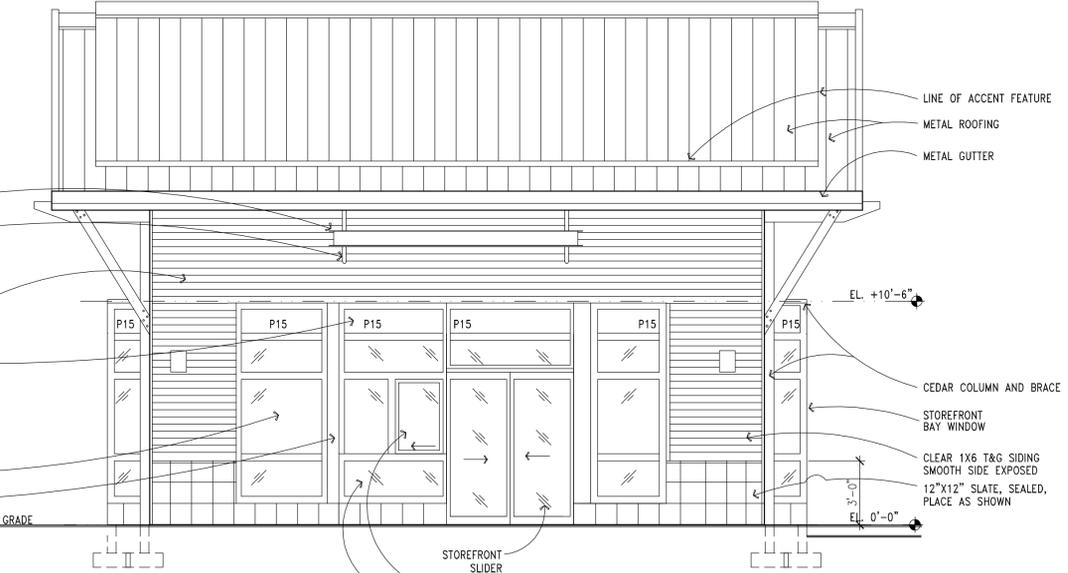
EAST ELEVATION
BIGFOOT JAVA 1/4"=1'-0"



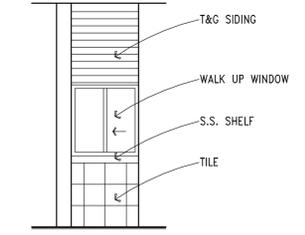
SOUTH ELEVATION
BIGFOOT JAVA 1/4"=1'-0"



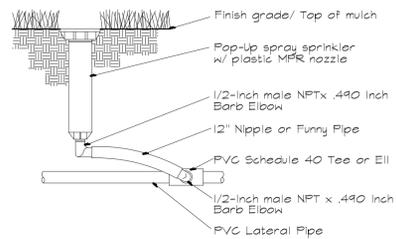
NORTH ELEVATION
BIGFOOT JAVA 1/4"=1'-0"



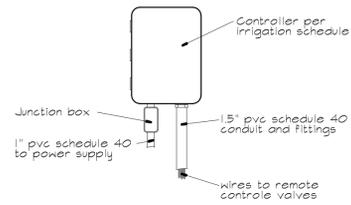
WEST ELEVATION
BIGFOOT JAVA 1/4"=1'-0"



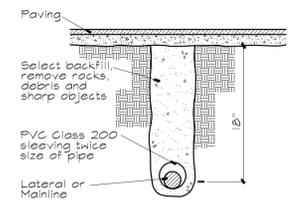
WALK UP
BIGFOOT JAVA 1/4"=1'-0"



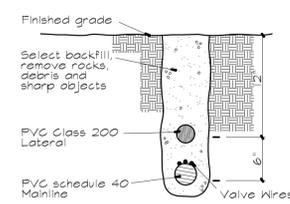
POP-UP SPRAY SPRINKLER
No Scale



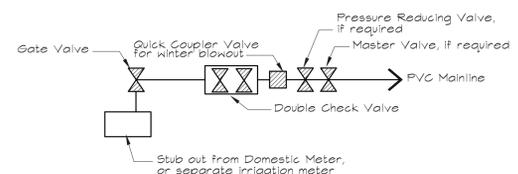
WALL MOUNT CONTROLLER
No Scale



SLEEVING DETAIL
No Scale



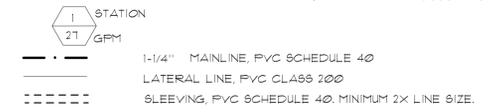
TRENCHING DETAIL
No Scale



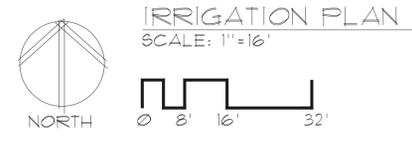
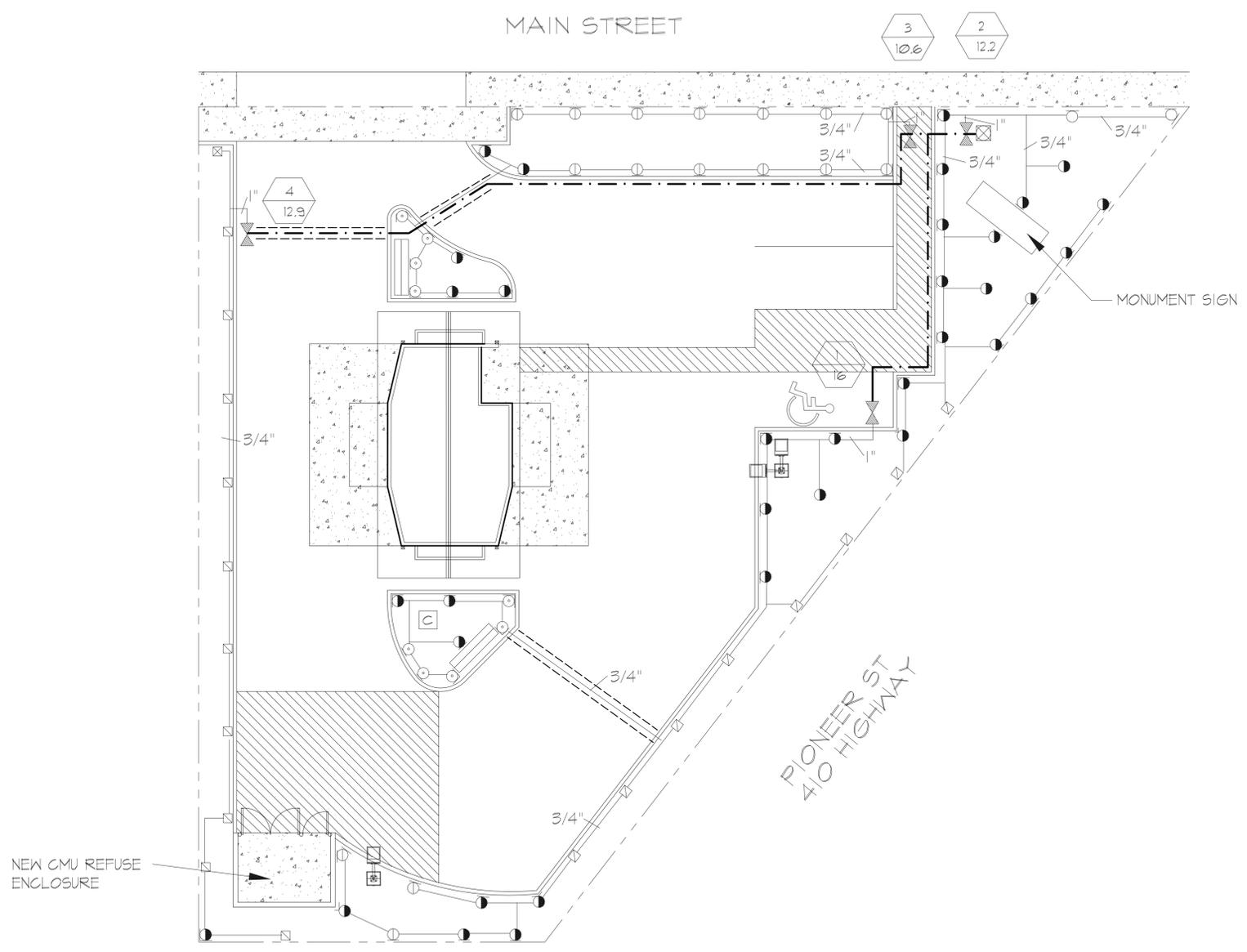
POINT OF CONNECTION
No Scale

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	RADIUS	GPM	PSI
⊙	RAINBIRD 1800 MFR 15" SERIES POP-UP, 4" LAWN, 6" G.C.	15'	185H	30
⊙	RAINBIRD 1800 MFR 12" SERIES POP-UP, 4" LAWN, 6" G.C.	12'	130H	30
⊙	RAINBIRD 1800 MFR 10" SERIES POP-UP, 4" LAWN, 6" G.C.	10'	0.19H	30
⊙	RAINBIRD 1800 MFR 8" SERIES POP-UP, 4" LAWN, 6" G.C.	8'	0.52H	30
⊙	RAINBIRD 1800 MFR 5" SERIES POP-UP, 4" LAWN, 6" G.C.	5'	0.2H	30
⊙	RAINBIRD 1800 MFR SIDE STRIP POP-UP, 4" LAWN, 6" G.C.	9'x18'	1.13	30
⊙	RAINBIRD 1800 MFR SIDE STRIP POP-UP, 4" LAWN, 6" G.C.	4'x30'	1.21	30
⊙	RAINBIRD 1800 MFR END STRIP POP-UP, 4" LAWN, 6" G.C.	4'x15'	0.61	30
⊙	RAINBIRD FEB SERIES PLASTIC VALVES			
⊙	RAINBIRD ESP MODULAR SERIES 6 STATION CONTROLLER - CONFIRM LOCATION			
⊙	POINT OF CONNECTION: 3/4" IRRIGATION METER - CONFIRM LOCATION			
⊙	3/4" FEBCO 850 DOUBLE CHECK VALVE			
⊙	1" QUICK COUPLER VALVE			



- CONFIRM EXACT LOCATION OF P.O.C., CONTROLLER, AND WATER PRESSURE AT P.O.C.
- ALL VALVES IN 'AMETEK' OR 'CARSON' BOXES SET AT FINISHED GRADE.
- ALL WORK PER PLANS, LOCAL CODES AND MANUFACTURER'S SPECS.
- PRESSURE TEST BEFORE BACKFILLING.
- PLAN IS DIAGRAMMATIC. ADJUST LINE AND HEAD LOCATIONS AS NECESSARY TO ASSURE PROPER COVERAGE AND CONFORM WITH ACCEPTED CONSTRUCTION PRACTICES.



IRRIGATION PLAN
SCALE: 1"=16'

job no.	drawn	checked	date	no.	revision	date
	KL		7/16/19			

BIGFOOT JAVA
491 MAIN STREET, BUCKLEY, WASHINGTON



MAIN STREET DESIGN
LANDSCAPE ARCHITECTURE
9402 Tidal Court,
Bainbridge Is., WA 98110
(206) 842-7886

Sheet
IRRIGATION PLAN

L-2

Exhibit 4: Sign Drawings, Details and Locations

PROJECT DESCRIPTION:

Fabricate & install one (1) double-face internally illuminated monument sign as shown with translucent Lexan faces overlaid with digital prints with two (2) single face "Drive-Thru" cabinets. All illumination is from white L.E.D.s

SPECIFICATIONS:

Main sign is a 3" deep shaped module (x2), black trim cap & returns
Graphic is a digitally printed image on translucent vinyl media applied to Lexan face

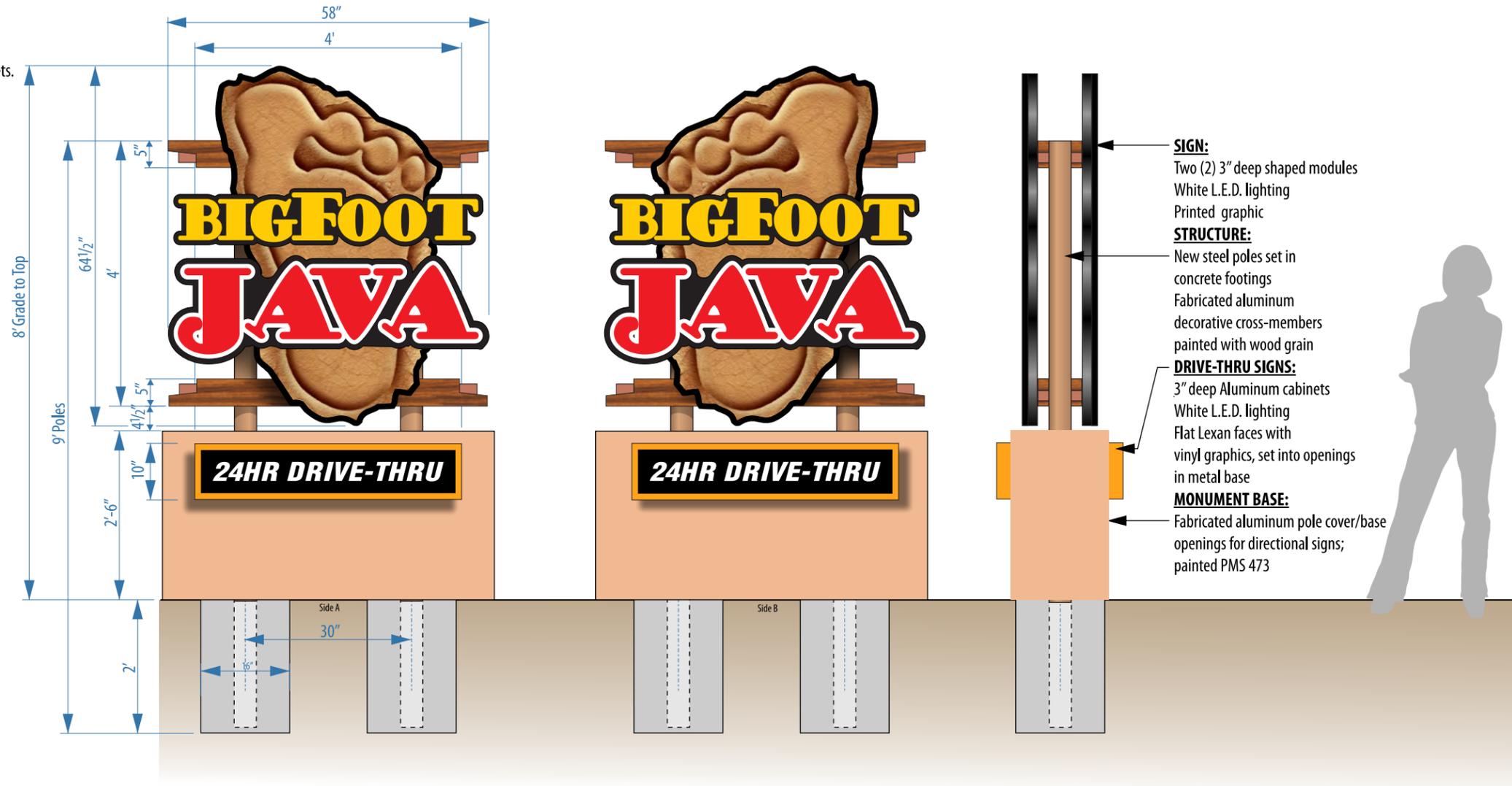
"DRIVE-THRU" signs are aluminum cabinets with white L.E.D. illumination
Cabinets to be painted custom orange yellow (PMS 130)
Flat Lexan faces with opaque black reversed copy

New steel poles installed in footings per municipal code
2"x 4" rectangular tube cross-members with faux wood grain paint

Aluminum pole cover / base painted black, with openings for drive-thru signs

Attach signs to structure as shown
Connect to customer-supplied designated & dedicated electrical circuit

-  **VINYL #1:** Digital print (2@ 58"x 65")
-  **VINYL #2:** 3M #230-22 "Black"
-  **PAINT #1:** PMS #473 on Poles
-  **PAINT #2:** Faux Wood Grain on Cross members
-  **PAINT #3:** Matthews PMS #130 satin finish
-  **MODULE RETURNS:** Pre-Finished black
-  **TRIM CAP:** 1" Black

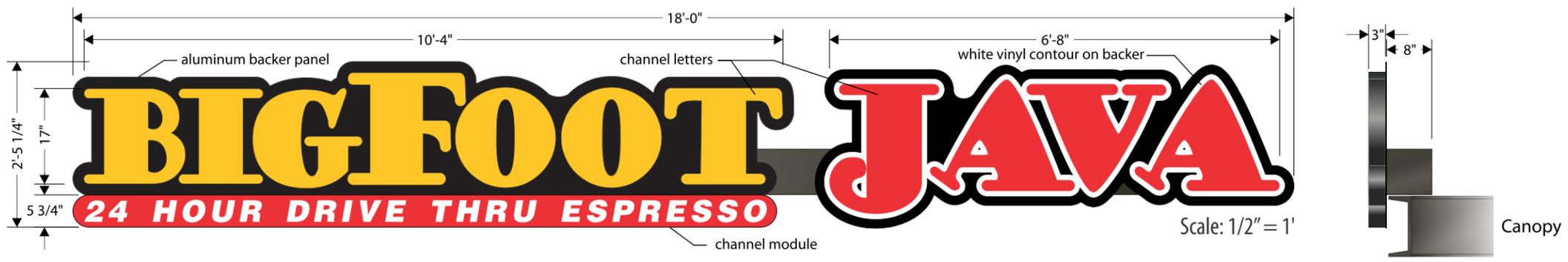


1 DOUBLE-FACE MONUMENT SIGN - QTY. 1
SQ FT: 31

Scale: 1/2" = 1'

CLIENT: BigFoot Java	D#: 190785-01	PG# 1 of 4	DATE: 07-01-19	© Berry Sign Systems, Inc. All Rights Reserved	<input type="checkbox"/> APPROVED AS IS	<input type="checkbox"/> APPROVED W/ CHANGES AS MARKED
SITE: 491 Main St Buckley, WA 98321	SALES: Warren Wissmer	DESIGN: C. Nichols	Unauthorized use, reproduction, and or display shall render the infringer liable		CLIENT APPROVAL:	DATE:
BERRY SIGN: info@berrysign.com 7400 Hardeson Rd, Everett, WA 98203 (425) 776-8835			for up to \$150,000 in Statutory Damages, plus attorneys fees and costs.		LANDLORD APPROVAL:	DATE:

2



2 CHANNEL MODULE ON RACEWAY - QTY. 1
 SQ FT: 24

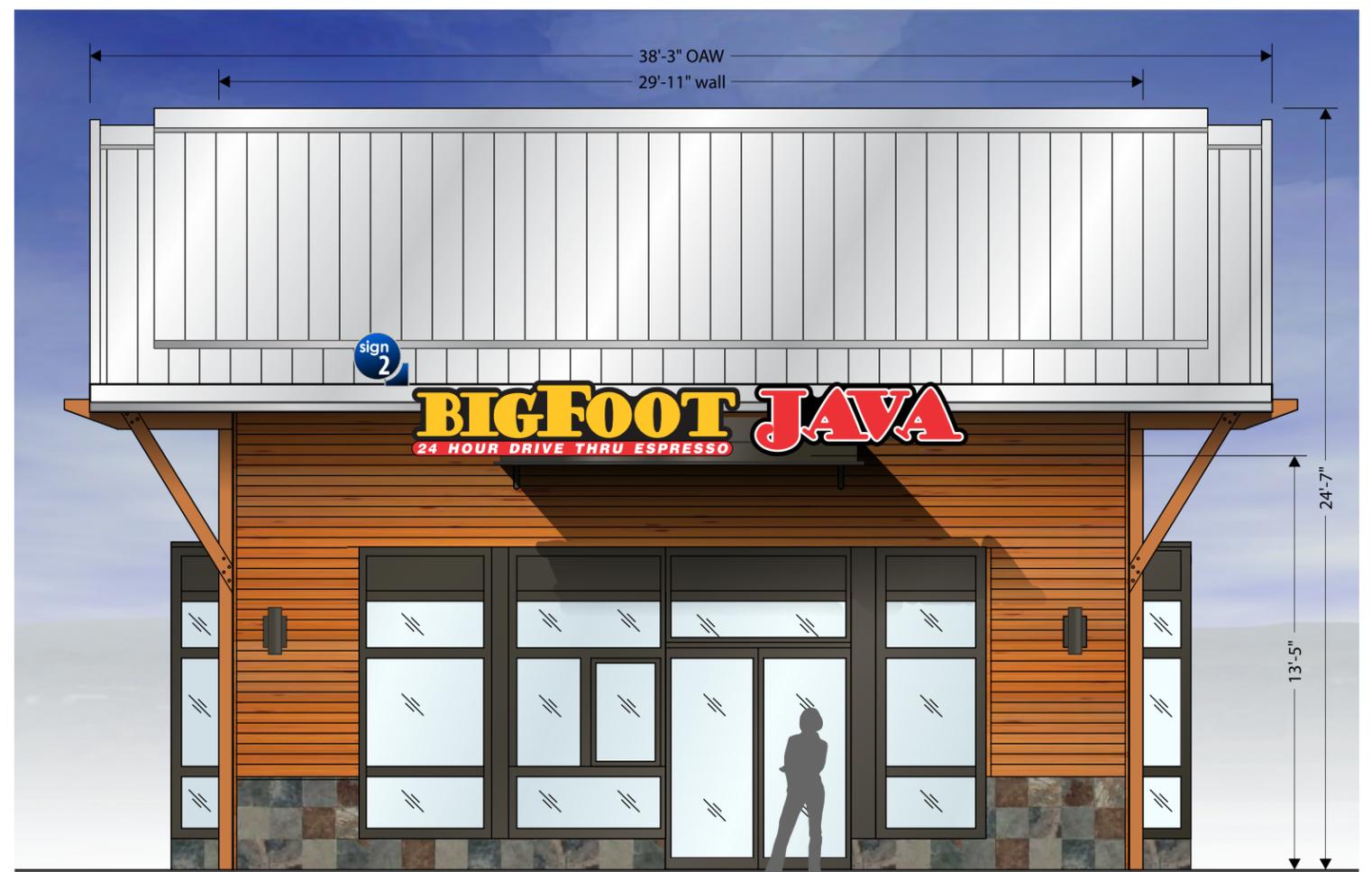
Scale: 1" = 1'

PROJECT DESCRIPTION:
 Fabricate & install one (1) set of illuminated pan channel letters & illuminated pan channel modules on raceway on west-facing drive-thru canopy

SPECIFICATIONS:
 5" deep pre-finished black returns, 1" black trim cap
 "BIGFOOT" 2465 yellow acrylic face / white LED illumination
 "JAVA" 278 red acrylic face / red LED illumination; white HP vinyl contour outline applied to backer panel behind letters
 Paint raceway to match canopy color

MATERIAL COLORS:

- #2465 Yellow acrylic
- #278 Red acrylic
- #230-33 Red vinyl on module
- PAINT: Raceway to match canopy - survey required

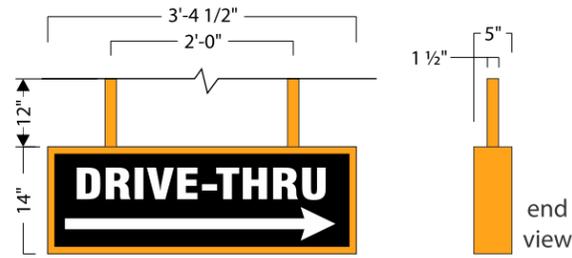


Sign 1. West elevation - Proposed channel letters installation
 Scale: 3/16" = 1'



CLIENT: BigFoot Java	D#: 190785-01	PG# 2 of 4	DATE: 07-01-19	© Berry Sign Systems, Inc. All Rights Reserved	<input type="checkbox"/> APPROVED AS IS	<input type="checkbox"/> APPROVED W/ CHANGES AS MARKED
SITE: 491 Main St Buckley, WA 98321	SALES: Warren Wissmer	DESIGN: C. Nichols	Unauthorized use, reproduction, and or display shall render the infringer liable		CLIENT APPROVAL:	DATE:
BERRY SIGN: info@berrysign.com 7400 Hardeson Rd, Everett, WA 98203 (425) 776-8835			for up to \$150,000 in Statutory Damages, plus attorneys fees and costs.		LANDLORD APPROVAL:	DATE:





3a&b S/F DIRECTIONAL SIGN - QTY: 2 Scale: 1/2" = 1'
SQ FT: 4

Cabinet - Aluminum construction - paint PMS 137 - Lexan faces - White LED illumination
 HP black vinyl on faces

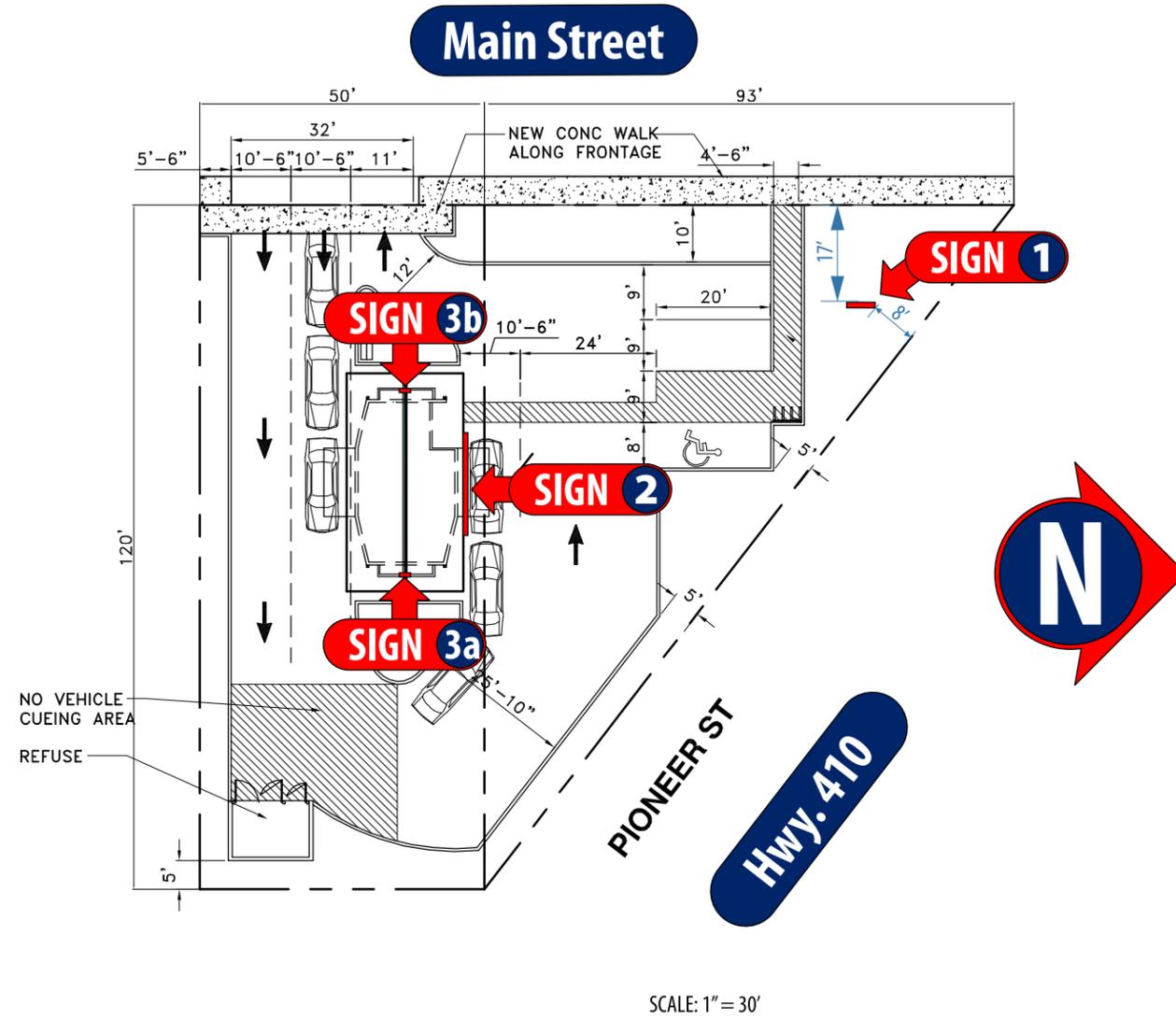
Installation - Mount under fascia overhang with 2 rigid conduit legs

- Cabinet - Paint to match PMS 137
- HP Black vinyl



CLIENT: BigFoot Java	D#: 190785-01	PG# 3 of 4	DATE: 07-01-19	© Berry Sign Systems, Inc. All Rights Reserved	<input type="checkbox"/> APPROVED AS IS	<input type="checkbox"/> APPROVED W/ CHANGES AS MARKED
SITE: 491 Main St Buckley, WA 98321	SALES: Warren Wissmer	DESIGN: C. Nichols	Unauthorized use, reproduction, and or display shall render the infringer liable		CLIENT APPROVAL:	DATE:
BERRY SIGN: info@berrysign.com 7400 Hardeson Rd, Everett, WA 98203 (425) 776-8835			for up to \$150,000 in Statutory Damages, plus attorneys fees and costs.		LANDLORD APPROVAL:	DATE:

SITE MAP



CLIENT: BigFoot Java	D#: 190785-01	PG# 4 of 4	DATE: 07-01-19	© Berry Sign Systems, Inc. All Rights Reserved	<input type="checkbox"/> APPROVED AS IS	<input type="checkbox"/> APPROVED W/ CHANGES AS MARKED
SITE: 491 Main St Buckley, WA 98321	SALES: Warren Wissmer	DESIGN: C. Nichols	Unauthorized use, reproduction, and or display shall render the infringer liable		CLIENT APPROVAL:	DATE:
BERRY SIGN: info@berrysign.com 7400 Hardeson Rd, Everett, WA 98203 (425) 776-8835			for up to \$150,000 in Statutory Damages, plus attorneys fees and costs.		LANDLORD APPROVAL:	DATE:



BIGFOOT JAVA

LEGENDARY CREATURE...LEGENDARY COFFEE

3366

SASQUATCH SPECIALTIES
4-45 4-95 5-45 5-95 6-95
10-95 10-95 10-95 10-95 10-95

SASQUATCH TRACKS FROSTBITES
10-95 10-95 10-95 10-95 10-95

BIGFOOT EXTREME CHOCOLATE
10-95 10-95 10-95 10-95 10-95

ABOMINABLE WHITE MOCHA
10-95 10-95 10-95 10-95 10-95

BARBICUE MOCHA MONSTER
10-95 10-95 10-95 10-95 10-95

MYTHICAL MOCHA
10-95 10-95 10-95 10-95 10-95

MILKY KEY
10-95 10-95 10-95 10-95 10-95

LEGENDARY LATTE
10-95 10-95 10-95 10-95 10-95

BIGFOOT
10-95 10-95 10-95 10-95 10-95

SUNNY T'GRANDE YETDIDDLE
10-95 10-95 10-95 10-95 10-95

STRAWBERRY SASQUATCH
10-95 10-95 10-95 10-95 10-95

BIGFOOT ON THE BEACH
10-95 10-95 10-95 10-95 10-95

PRIMATE PEACH
10-95 10-95 10-95 10-95 10-95

MYTHICAL MANGO
10-95 10-95 10-95 10-95 10-95

BABY AND THE BEAST
10-95 10-95 10-95 10-95 10-95



ESPRESSO MENU						
1 shot Tall 12oz	cal	2 shots Grande 16oz	cal	3 shots Grande 20oz	cal	
Latte'	3.20	188	3.90	226	4.20	283
Flavored Latte'	3.70	259	4.40	351	4.70	426
Mocha	3.70	219	4.40	272	4.70	344
White/Dark Mocha	3.85	269	4.55	348	4.85	446
Breve	3.95	801	4.65	881	4.95	1282
Cappuccino	3.20	151	3.90	207	4.20	264
Americano	2.30	1	2.50	1	2.95	2
Espresso	Single shot	1.95	1	2.75	6	2.95
Drip Coffee	2.00	4	2.50	5		

OTHER BEVERAGES						
12oz	cal	16oz	cal	20oz	cal	
Hot Chocolate	2.50	257	2.75	338	3.00	444
Hot Cider	2.50	120	2.75	160	3.00	200
Hot Caramel Apple	2.75	210	3.00	318	3.25	380
Italian Soda	2.50	158	2.75	203	3.00	248
Italian Cream Soda	2.75	238	3.00	323	3.25	368
Creamicle	3.00	238	3.25	339	3.50	379
Strawberry Lemonade	3.00	133	3.25	169	3.50	197
Ice Tea	2.00		2.50		3.00	
Stash Tea	2.25		2.75		3.25	
Chai Tea	3.45	229	4.15	289	4.45	371
Green Tea Frostbite	4.40	220	4.90	311	5.40	455
Jet Frostbites	4.40	375	4.90	500	5.40	625
Infused Energy	1-can		4.75	110	2-cans	7.75

EXTRAS

Espresso Shots	.65	1
Add Flavors	.50	77 - 194
Make it a Frostbite	.75	167 - 595
Protein Powder	1.50	5grams

Nutritional Information Available at Window

Make it a **MEGAFOOT**

44oz ^{cal} 1-218

add 1.00 to 32oz

10 oz.



DEL FOOT MENU

Hot Chocolate	2.00	230
Steamers	2.00	240
Strawberry Li'Foot	3.50	216

SASQUATCH SPECIALTIES				
12oz	16oz	20oz	24oz	32oz
4.45	4.95	5.45	5.80	6.95
CAL. 229-409 290-476 410-543 472-712 616-953				

SASQUATCH TRACKS FROSTBITE
a rich blend of chocolate and chocolate chips blended and topped with whipped cream and chocolate chips

BIGFOOT EXTREME CHOCOLATE
2 unique blends of chocolate topped with whipped cream and dusted with chocolate

ABOMINABLE WHITE MOCHA
white chocolate powder and a dash of english toffee topped with whipped cream

MARIONBERRY MOCHA MONSTER
all natural marionberries and rich chocolate topped with whipped cream and shaved chocolate

MYTHICAL MOCHA
white chocolate and creamy caramel topped with whipped cream and caramel sauce

NUTTY YETI!
spiced vanilla mixed with hazelnut topped with whipped cream and nutmeg

LEGENDARY LATTE!
a secret latte topped with whipped cream, caramel and cinnamon

BIGFOOT FRUIT FROSTBITES				
12oz	16oz	20oz	24oz	32oz
4.40	4.90	5.40	5.75	6.90
CAL. 255-331 335-429 415-527 511-661 670-858				

YUMMY Y'ORANGE YETICICLE
a creamy combination of vanilla and orange

STRAWBERRY SASQUATCH
a strawberry sensation

BIGFOOT ON THE BEACH
a delicious blend of tropical flavors

PRIMATE PEACH
a just peachy blend of peaches

MYTHICAL MANGO
this is truly mangalicious

BERRY AND THE BEAST
bestly marionberries at their best

D. CONSENT AGENDA

**City Council
October 8, 2019**

Mayor Johnson called the regularly scheduled meeting to order at 7:00 pm.

Upon roll call the following members were present: Bender, S. Burkett, Smith, B. Burkett, Leggett and Wilbanks. Also in attendance were City Administrator Schmidt, Asst. Police Chief Northam, Asst. Fire Chief Skogen and Youth Activities Center Coordinator Kyllonen.

Council member Leggett moved to excuse Council member Tremblay. Council member Smith seconded the motion. Motion carried.

Council member Smith moved to amend the agenda to add a presentation by Tanner Holmes. Council member B. Burkett seconded the motion. Motion carried.

CITIZEN PARTICIPATION

Tanner Holmes – 25333 154th St. Ct. E., Buckley

Tanner discussed with the council to add little lending libraries around Buckley in two different locations for his Eagle Scout project. Different locations were discussed and options for maintaining the lending libraries in the future.

Council member Smith moved to approve Tanner Holmes lending libraries contingent on the location, depth, and upkeep. Council member Bender seconded the motion. Motion carried.

STAFF REPORTS

Assistant Fire Chief Skogen shared that the Fire Dept. received the new fire engine, and citizens should be seeing it in service by the end of next month. The previous fire engine was in use for over 23 years.

City Administrator Schmidt updated the council on the Spiketon Ditch Culvert and also mentioned that Titan is making good progress on the parking lots at the shop and police station. Paving for the parking lots should begin on Monday.

Youth Activities Center Coordinator Kyllonen shared that the new van is a big draw for the kids and they love using it for field trips. She also mentioned that this summer was very busy at the Youth Activities Center and has completely surpassed years in the past. The new Youth Activities Assistant has started and is doing wonderful.

MAIN AGENDA

Crystal Mountain Resort Presentation – Frank DeBerry

Mr. DeBerry updated the council on how his first year at Crystal Mountain has gone. He wanted to let the Fire Dept. know that he appreciates them coming so far for the calls.

This year at the mountain they want to focus on updating and adding some facilities and also adding summer activities.

PW Shop and Police Station Parking Lots Change Order

Council member Smith moved to Ratify Change Order #1 to the Public Works and Police Station Parking Lots. Council member Bender seconded the motion. Motion carried.

Purchase and Sale Agreement – Police Station

Council member Smith moved to Approve the Purchase and Sale Agreement Between the City and Karli & Michael Britt. Council member S. Burkett seconded the motion. Motion carried.

Purchase and Sale Agreement – Fire Station

Council member Wilbanks moved to Approve the Purchase and Sale Agreement Between the City and Doxxa for the Former Buckley Fire Station. Council member S. Burkett seconded the motion. Motion carried.

CONSENT AGENDA

Council Member Smith moved to approve the Consent Agenda. Council member Leggett seconded the motion. Motion carried.

Approve Minutes of August 27, 2019
Approve Minutes of September 24, 2019

Claim check numbers 60493 through 60555 in the amount of \$136,358.77 for the period September 25, 2019, to October 8, 2019; Payroll check numbers 38068 through 38109 in the amount of \$82,934.88 and ACH payroll in the amount of \$356,358.19 for the month of September 2019; and Treasurer check numbers 12196 through 12200 in the amount of \$2,040.97 and EFT payments in the amount of \$15,948.71 are hereby approved and ordered paid this 8th day of October 2019.

COMMITTEE REPORTS

Mayor's Report:

Mayor Johnson handed out AWC legislative agendas for 2020 and discussed what they will be lobbying for.

Administration, Finance & Public Safety:

Council member S. Burkett shared that the Police Dept. is working on hiring a new officer. The homecoming parade went great and the next meeting is October 22nd at City Hall.

Transportation & Utilities:

Council member B. Burkett stated that their next meeting will be October 15th at 7 PM and it is open to the public.

Community Services:

Council member S. Burkett stated that their next meeting will be Oct. 17th at 1 pm and it will be a budget meeting.

Council Member Comments & Good of the Order:

Council member S. Burkett shared that on Oct. 17th at 7 pm, Merry on Main will be having a meeting. It will be held at the MPC.

Council member Smith moved to adjourn. Council member Leggett seconded the motion. Motion carried.

With nothing further the meeting was adjourned at 7:42 PM.

Mayor

City Administrator

E. COMMITTEE REPORTS