

City of Buckley

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www.cityofbuckley.com



To: Building Official Mike Deadmond

From: City Planner Kathy Thompson

Date: March 4, 2016

Re: Arcadia Arts, SPR 2014-02, design review for Phase I; File #:DR-3102

Background.

A pre-application conference was conducted April 8, 2014, and the application was submitted October 8, 2014. A Notice of Application was issued November 18, 2014. The public hearing for the site plan review was conducted May 18, 2015, and a decision rendered June 3, 2015. The site plan review was approved with conditions (see attachment A).

The city's Design Review Committee (DRC) met March 3, 2016, to review the application and issue a decision.

Decision.

The DRC approved the application as submitted, specifically permitting the following waivers from the strict guidelines:

4.2.2.c.iii: distance between buildings is allowed as shown.

4.2.3.d.ii: roof pitch is allowed as shown.

4.2.4 Color: was approved as shown

Issue.

The applicant wants to separate construction of the project into two phases. Phase I will be the north portion, Phase II will be the south portion (Steelhead Communications regional office).

Location.

The proposal is located on the west side of SR 410 north of Jefferson.

Details.

Fee: \$210 under TR#45652

Zone: Central Commercial

Comp plan designation: Commercial & Mixed Use

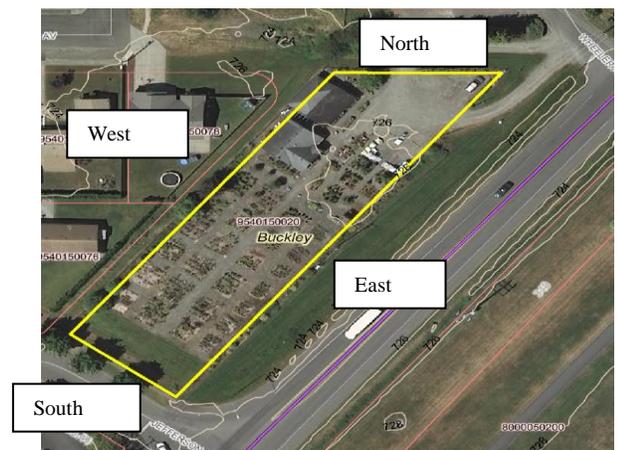
Lot size: .843 acres (36,677.52 sf)

Parcel Number: 9540150020

Requested landscape variance status:

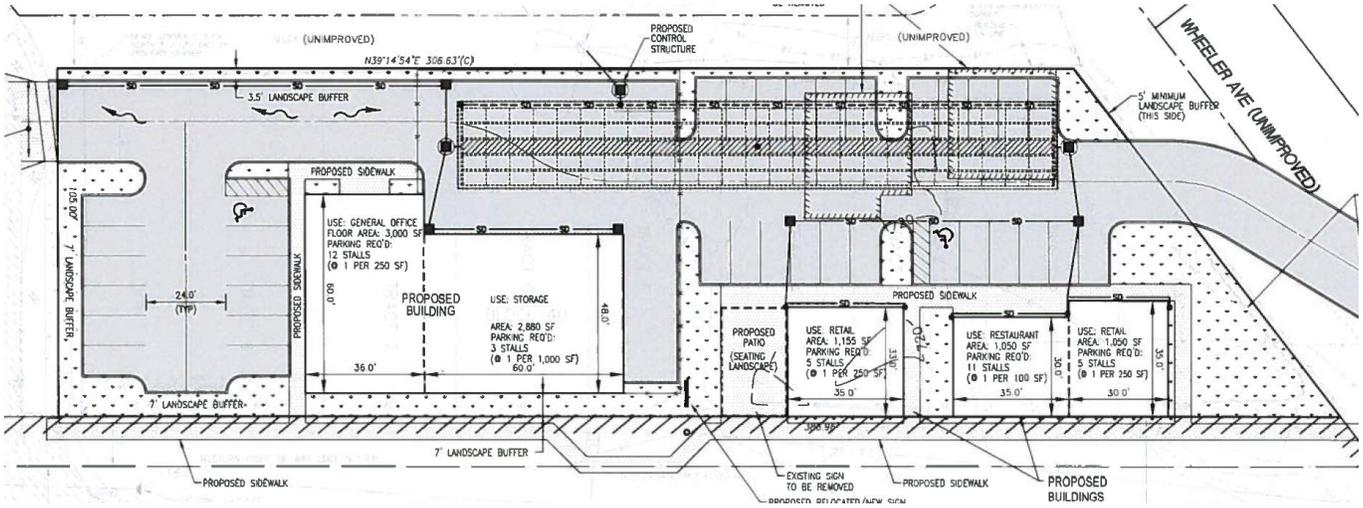
Approved; landscape buffer can be reduced to 0 feet

Site plan review status: Approved with conditions

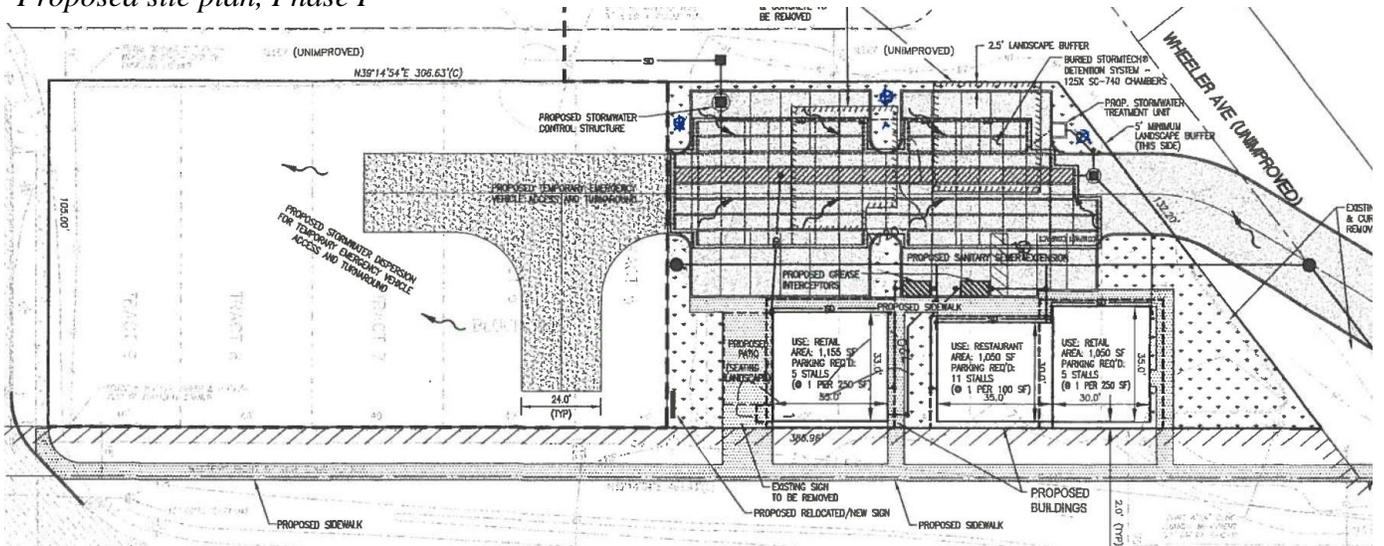


CountyView 2011 aerial

Approved site plan



Proposed site plan, Phase I



In a February 17, 2016 e-mail, Fire Chief Alan Predmore said the proposed abbreviated site plan will be acceptable as long as no parking signs are posted and the area doesn't become obstructed with overflow parking.

Phase I Design review.

Design review was examined in Section 9 of the staff report submitted to the hearing examiner and is modified for this review:

9. BMC 19.51, SR 410 design district.

This chapter provides the city's Highway 410 design review district regulations, which refers readers to the guidelines for development below. In addition to design guidelines, the chapter requires review by the design review committee (DRC).

The purpose of the chapter is to promote economic development by preventing unsightly strip development that presents a massive flat aspect to SR 410 and to encourage construction of buildings that reflect the city's agricultural, railroad and logging antecedents. The land along SR 410 will contain much of this city's future and new development will influence this city's character and quality of life.

Guidelines for Development provide guidelines to ensure the goals of Chapter 19.51 are met, specifically landscaping, architectural modulation and design, roof pitch, building materials, colors, and signs.

The project is before the design committee for review and decision.

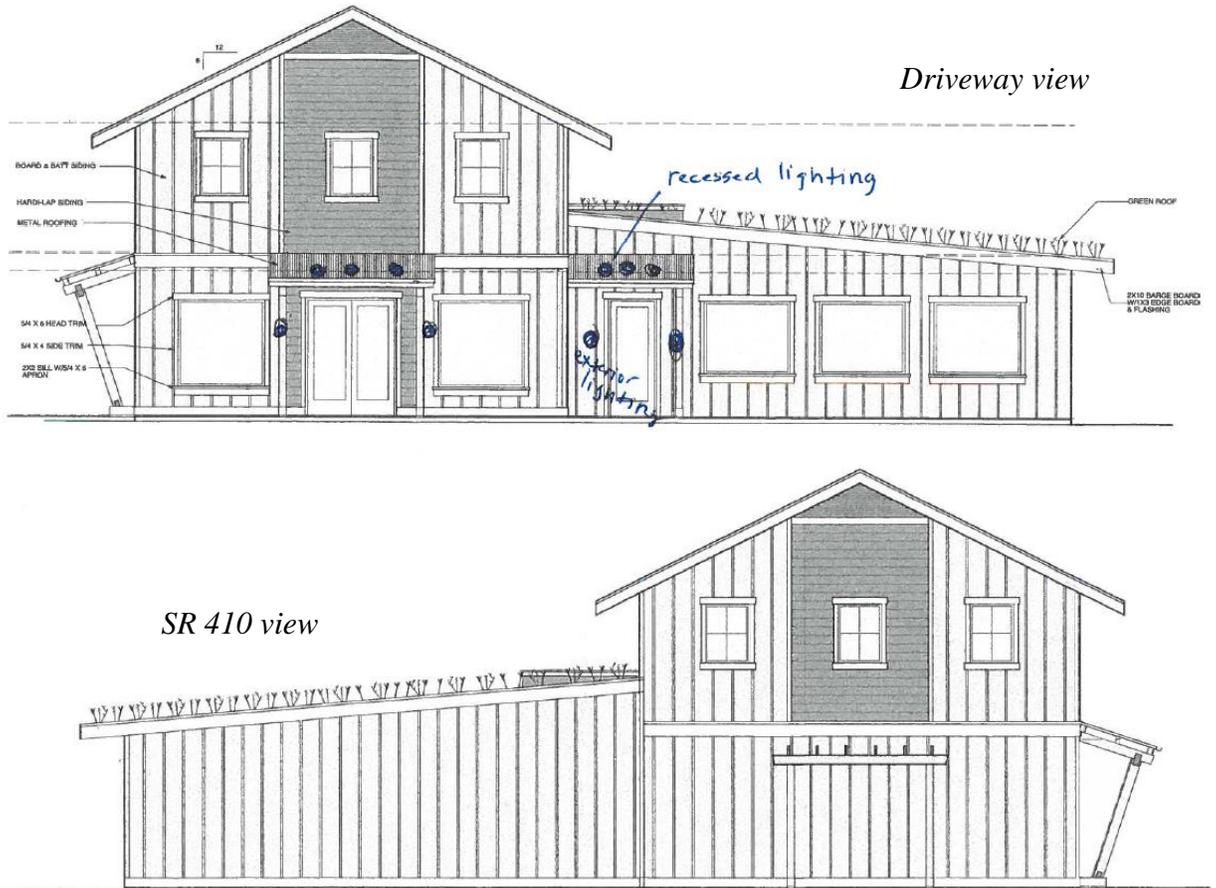
a. Design review criteria, section 4.2 Building construction:

Facts: Building and new development along Highway 410 should be designed to reflect and reinforce the rural character of the area. They should be reminiscent in form, material and detail of the traditional types of building in rural Pierce County, and particularly in Buckley Plateau. Traditional structures were primarily built here for the agricultural and timber industries, and they are straight-forward and functional in appearance.

Findings: The two smaller buildings of Phase I will be wood-frame and use green roofing as much as possible.

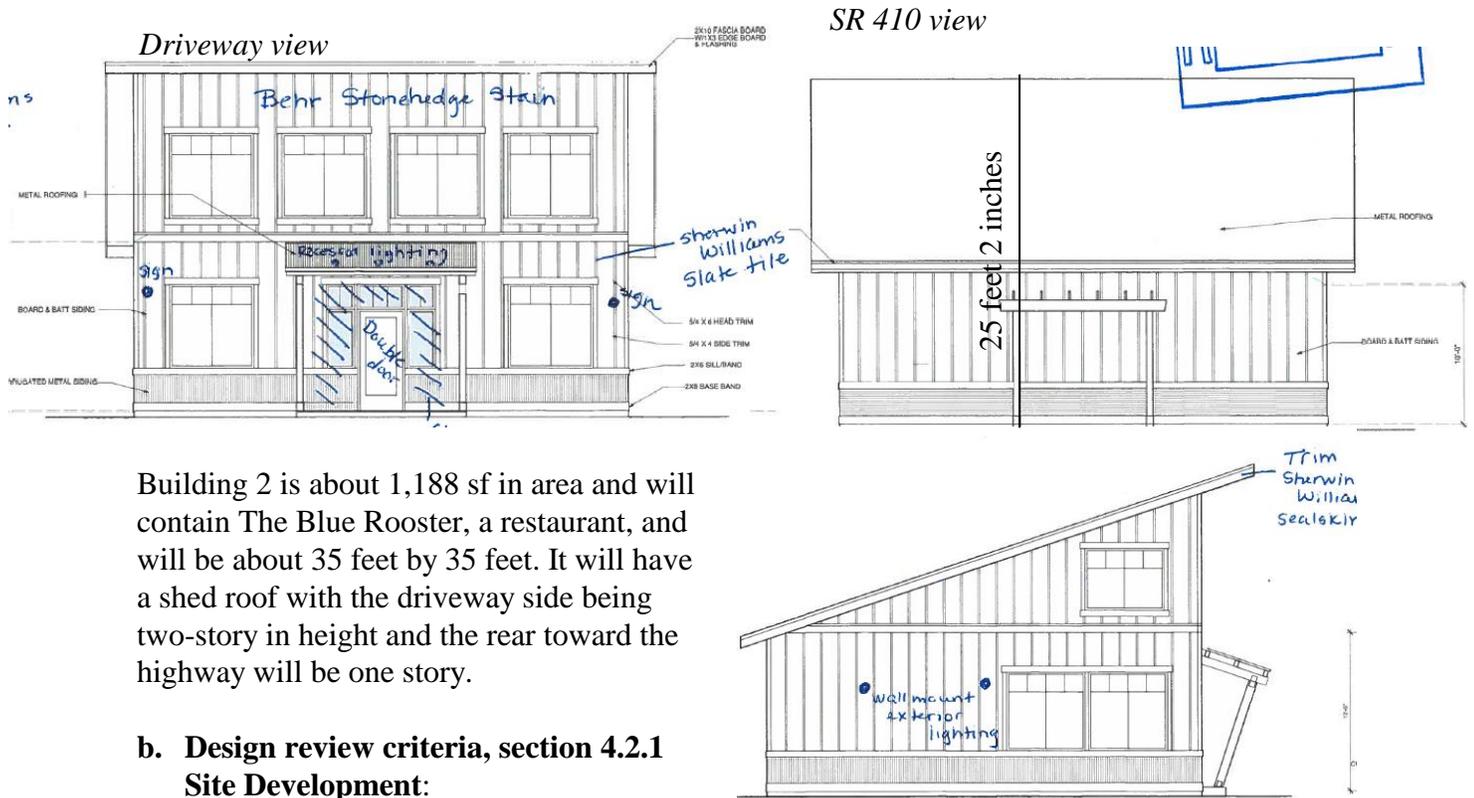
Building 1.

28 feet 10 inches



Building 1 is about 35 feet deep and contain two separate businesses, The New Leaf Café at about 1,050 sf and a retail/upstairs office area at about 2,100 sf. The New Leaf is planned to be about 35 feet wide and the retail area with office above is planned to be about 30 feet wide. A green roof is planned to be above the café.

Building 2.



Building 2 is about 1,188 sf in area and will contain The Blue Rooster, a restaurant, and will be about 35 feet by 35 feet. It will have a shed roof with the driveway side being two-story in height and the rear toward the highway will be one story.

b. Design review criteria, section 4.2.1

Site Development:

- i. **Facts:** Projects within the Highway 410 Review District shall be designed in compliance with all City of Buckley, Pierce County and Washington State planning and development requirements. In addition, projects subject to review shall include:
- ii. **Facts:** A landscape buffer in conformity with the requirements specified in BMC 19.29 shall be installed along the Highway 410 frontage.

Findings: A variance to reduce landscaping buffers was granted to enable adequate site development. The landscape plan was not included in this portion of the design review.
- iii. **Facts:** Off-street parking and landscaping within the parking area(s) shall conform to BMC 19.28 and BMC 19.29.

Findings: The parking area on the north will have landscape on the north and south sides, and a stall of landscaping in the middle on the west side. The proposed underground stormwater facility was moved from under landscape areas to reduce damage to roots and the facility. The code requires 23 stalls for the three uses, 23 stalls are provided.
- iv. **Facts:** Roadway frontage improvements shall be required and shall consist of those specified in the most recently adopted version of the City Buckley Development Guidelines and Public Works Standards.

Findings: Frontage improvements are conditions of approval and will be shown in the civil plans.

c. Design review criteria, section 4.2.2 Scale and Form.

Projects shall relate to the scale and form of traditional agricultural and mill buildings. Traditional buildings often were added onto over the years. Farms and mills usually consisted of a cluster of similar buildings. New construction shall utilize these devices wherever possible to reduce the scale and apparent mass of larger projects.

- i. Facts:** Long, uninterrupted buildings and developments are not acceptable.

Modulation and/or variation of the building façade is required by shifting the elevation no less than four (4) feet every eighty (80) feet of building length.

Findings: The smaller buildings are each less than 80 feet in length.

- ii. Facts:** Individual buildings or developments shall not exceed 30,000 gross square feet in area.

Findings: The total square footage for this development is about 8,200 sf; the square footage for the Blue Rooster is about 1,188 sf; the square footage for Building 1 is about 2,275 sf.

- iii. Facts:** Individual buildings within overall developments shall be separated by no less than 25 feet of landscape buffer space unless otherwise approved by the DRC.

Covered walkways may connect across buffer spaces.

Findings: The buildings on the north will be separated by about 15 feet, which will contain a rabbit hutch and pathway from the east to the west of the development. The landscape variance was granted because the site is long and narrow and limits development. While the uses could be placed in a long building, the modulation would be difficult because of the lot's 105-foot width. Also see subsection 9.c.v below. The DRC allows the buildings as shown.

- iv. Facts:** The architectural design of new projects shall take into consideration and respond to the scale and character of the rural landscape.

Findings: The proposal for the north side reflects Buckley's rural character in that it uses shed roof styles and a green roof.

- v. Facts:** Overall architectural design shall be based on traditional agricultural and mill buildings.

Findings: The subject buildings are designed to entice customers from one building to use services in the other buildings; a 25-foot separation is not desired.

d. Design review criteria, section 4.2.3 Architecture and Structure

- i. Facts:** Where visible from the exterior, wood truss and heavy-timber structural systems are recommended along with complimentary stone veneer(s).

Findings: No trusses are proposed.

- ii. Facts:** Buildings shall be no more than two stories and shall have sloping roofs with a minimum pitch of 6 in 12 unless otherwise specified by the DRC.

Findings: A lower pitch on one of the buildings is requested to ensure the success of a green roof. Building 1 is two stories, Building 2 is one story. The Blue Rooster roof is 4:12; a 6:12 slope may increase the apparent height of the building. The two-story building with gables is 6:12. The DRC approves the roof forms as proposed.

- iii. Facts:** Roof forms shall incorporate simple gables and sheds with generous overhangs.

Findings: The proposal complies.

iv. **Facts:** Utilize horizontal beveled wood, wood shingle or vertical wood board and batten siding along with complimentary stone veneer(s) whenever possible. Where required by building code or for functional reasons, concrete and concrete masonry materials may be employed with approval of the DRC. In such cases concrete and concrete masonry shall be detailed to emulate traditional stone construction.

Findings: Both buildings use vertical wood boards.

v. **Facts:** Wood shingles or metal roofing shall be employed on all new construction unless otherwise approved by the DRC. Existing rural buildings have often replaced these materials with composition roofing, particularly patterns that reflect a wood shingle appearance may be acceptable for new projects.

Findings: Roof materials were discussed at the meeting and will be metal.

vi. **Facts:** Wood doors shall be simple in shape, large openings may be detailed to resemble traditional barn doors intended to accommodate animals and machinery.

Findings: The two smaller buildings will use pedestrian-sized doors.

vii. **Facts:** Windows shall be fixed, casement, awning or double hung, with a square or vertical orientation. Sliding windows are not acceptable. Wood or metal sash materials are acceptable. Break large areas of glass into smaller lights whenever possible. Newer, energy efficient, types may be considered by the DRC when constructed in a style that compliments the intent of these guidelines.

Findings: The lower story windows will be large and the upper-story windows will be smaller. A sliding door may be planned for the second story of one of the smaller buildings to allow access onto the green roof. Lighting will be small wall lights.

viii. **Facts:** Ornament shall be minimized to reflect the utilitarian nature of the buildings. Achieve architectural interest through structural elements such as gable brackets, stone veneer, post and beams. Stress craftsmanship and the detailing of ventilators, corner boards.

Findings: The smaller buildings may contain ornaments that are appropriate to the shops within; none are shown at this time.



e. **Design review criteria, section 4.2.4 Color:**

i. **Facts:** Colors should generally be muted, earth tones and simple painting schemes as were typically used in these traditional buildings. Color schemes employing many colors or particularly bright colors shall be avoided. Natural, unpainted wood with a clear sealer, or wood painted grey, dull red or green are example of acceptable color palate.

Findings: Building 1's colors are proposed to be in the shades of browns and reds, with the possibility of bronze colors. The colors for the Blue Rooster are to be blue-grey, grey and brown, but did not scan well for inclusion into this report.

ii. **Facts:** Colors should be selected to emphasize building form and highlight major features. The use of brightly colored or glossy building materials such as metal or tile

siding are not acceptable.

Findings: The color palate included in the file was approved by the DRC.