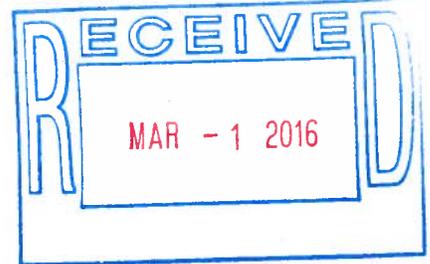


A. BACKGROUND

- A.1. Name of proposed project, if applicable: *Spiketon Road Preliminary Plat*
- A.2. Name of applicant: *Evans Development West, LLC*
- A.3. Address and phone number of applicant and contact person:

Applicant:
Dave Evans
Evans Development West, LLC
PO Box 1744
Wenatchee, WA 98807-1744

Agent / Contact:
Lisa Klein, AICP
AHBL, Inc.
2215 North 30th Street – Suite 300
Tacoma, WA 98402
(253) 383-2422



- A.4. Date checklist prepared: *February 26, 2016*
- A.5. Agency requesting checklist: *City of Buckley*
- A.6. Proposed timing or schedule (including phasing, if applicable):

Site work is anticipated to begin in the Spring of 2017 with complete buildout anticipated by 2020.

- A.7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

There are no future plans related to this proposal.

- A.8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

The following reports have been prepared in relation to this proposal:

- *Critical Areas Assessment Report - prepared by Talasaea Consultants, Inc, dated September 28, 2015*
- *Traffic Impact Analysis – prepared by Heath & Associates, Inc, dated February 8, 2016*
- *Geotechnical Engineering Report – prepared by South Sound Geotechnical Consulting, dated November 23, 2015*

- A.9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

There are no other applications pending that we are aware of.

- A.10. List any government approvals or permits that will be needed for your proposal, if known.

*City of Buckley – SEPA Determination, Critical Areas Review, Preliminary Plat Approval, Site Development Permits, Final Plat, and Building Permits
Washington State Dept of Ecology – Stormwater Construction General Permit (NPDES)*

- A.11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

The Spiketon Road Plat is a proposed 63-lot single family residential subdivision located on the east side of Spiketon Road, just north of the Tanner Avenue intersection on a 20.05 acre parcel (tax parcel number 0619101076) in the City of Buckley. Access is proposed via a new local road from Spiketon Road. The development includes a new north-south collector arterial that will eventually connect through adjacent properties to Tanner Avenue to the south and to Ryan Road (via Bevlo Street) to the north. The project features pedestrian paths connecting to and through the open space area in the eastern portion of the property. A sewer lift station will be installed on the west side of Spiketon Road within the right-of-way. This proposal will gravity sewer to the lift station, which will discharge northward via forcemain into an existing forcemain sewer manhole.

- A.12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

The proposal is located on parcel 0619101076 in the City of Buckley – Section 10 Township 19 Range 06. The parcel is located directly to the east of the intersection of Spiketon Road and Mountain View Avenue and north of the intersection of Spiketon Road and Tanner Avenue to the east.

B. ENVIRONMENTAL ELEMENTS

B.1. Earth

- B.1.a. General description of the site (circle one) **Flat**, rolling, hilly, steep slopes, mountainous, other.....

The affected geographic area is generally flat, with approximately 8 feet of rise in elevation from the southwest corner to the northeast corner.

B.1.b. What is the steepest slope on the site (approximate percent slope)?

Slopes throughout the affected geographic area range from 0-2%.

B.1.c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

The soils within the affected geographic area primarily consist of Buckley loam. This proposal will not result in the removal of on-site soils.

B.1.d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

There is no indication of unstable soils within or near the affected geographic area.

B.1.e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.

Approximately 15,000-30,000 net cubic yards of fill will be brought onto the site from an approved source. Excavation, grading, and filling activities will be necessary to construct the half-street improvements along Spiketon Road and on-site improvements, including stormwater drainage, conveyance, and retention.

B.1.f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Temporary erosion could occur during construction activities associated with grading, filling, and excavating, however the site will be managed following best management erosion control practices.

B.1.g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

Approximately 44% of the site will be comprised of impervious surfacing upon complete build-out.

B.1.h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Temporary erosion and sediment controls will be used during construction activities to ensure that earthwork is not deposited on city streets or eroded into conveyance piping.

B.2. Air

B.2.a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

Construction activities have the potential to create temporary dust emissions during earth-moving activities and exhaust emissions due to the combustion of gasoline and diesel fuels. All dust and exhaust emissions are expected to be minimal, localized, and temporary.

B.2.b. Are there any offsite sources of emissions or odor that may affect your proposal? If so, generally describe.

The primary source of offsite emissions results from vehicular traffic along Spiketon Road on the western boundary of the affected geographic area. Vehicular emissions will not have an impact on this proposal.

B.2.c. Proposed measures to reduce or control emissions or other impacts to air, if any:

Impacts to air quality resulting from construction activities will be controlled by implementation of applicable federal, state, and local emission control criteria for vehicles and equipment. Utilizing temporary erosion and sediment controls will also control dust emissions that may result from construction activities.

B.3. Water

B.3.a. Surface:

1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

There are three wetlands identified by the Critical Areas Assessment Report prepared by Talasaea Consultants, Inc. within the affected geographic area. The wetlands are identified individually in the assessment, and have the following classifications:

- *Wetland A: Category IV*
- *Wetland B: Category IV*
- *Wetland C: Category III*

Located offsite to the southeast is a stream called Spiketon Ditch.

2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

Limited earthwork activities will be conducted within 200 feet of Wetlands A, B, and C to create adequate lots and roadway sections on the project site. Construction activities that will occur within the buffer area of wetlands are limited to the proposed path to

the on-site recreation area. The proposed path is outlined as an allowed use within wetland buffer areas, pursuant to Buckley Municipal Code Section 12.08.160(3)(c).

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

This proposal will not result in the dredging or filling of surface waters or wetlands.

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

This proposal will not require surface water withdrawals or diversions.

- 5) Does the proposal lie within a 100-year flood plain? If so, note location on the site plan.

The affected geographic area is outside of the 100-year flood plain.

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

This proposal would not result in the discharge of any waste materials into surface waters.

B.3.b. Ground:

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well? Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

There will be no water withdrawn from wells for any purposes related to this proposal. Future site development will be served water by the City of Buckley.

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

No waste materials will be discharged into the ground as a result of this proposal.

B.3.c. Water runoff (including storm water):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so,

describe.

Runoff will be generated by impervious surfaces on the developed project site, which will consist of pavement, curb, and sidewalk within right-of-way areas and sidewalk and roof areas within proposed lots. All runoff will be routed to the storm retention pond in Tract A.

- 2) Could waste materials enter ground or surface waters? If so, generally describe.

This proposal will not generate waste materials that could enter ground or surface waters.

- 3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

This proposal will not alter or impact existing drainage patterns in the vicinity of the site.

- B.3.d. Proposed measures to reduce or control surface, ground, runoff water, and drainage pattern impacts, if any:

No specific measures proposed in addition to stormwater collection methods outlined above.

B.4. Plants

- B.4.a. Check the types of vegetation found on the site:

- ✓ Deciduous tree: Alder, maple, aspen, other
- ✓ Evergreen tree: Fir, cedar, pine, other
- ✓ Shrubs
- ✓ Grass
- ✓ Pasture
- Crop or grain
- Orchards, vineyards or other permanent crops.
- ✓ Wet soil plants: Cattail, buttercup, bullrush, skunk cabbage, other
- Water plants: Water lily, eelgrass, milfoil, other
- Other types of vegetation

- B.4.b. What kind and amount of vegetation will be removed or altered?

Existing grass and a tree will be removed within the development area of the project site in preparation for construction and earthwork activities. All native vegetation within identified wetlands and most vegetation within their buffers will remain undisturbed.

- B.4.c. List threatened and endangered species known to be on or near the site.

There are no known threatened or endangered plant species within or near the
 City of Buckley Environmental Checklist Page 7

affected geographic area.

- B.4.d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Landscaping will be designed to meet the requirements of Buckley Municipal Code Chapter 19.29 – Landscaping. All native vegetation will be preserved within wetland areas and their associated buffers. A pedestrian path is proposed that will provide access to a native recreational area located between the three identified wetlands.

- B.4.e. List all noxious weeds and invasive species known to be on or near the site.

There are no known noxious or invasive plant species within or near the affected geographic area.

B.5. Animals

- B.5.a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site. Examples include:

Birds: Hawk, heron, eagle, songbirds, other: *small birds*

Mammals: Deer, bear, elk, beaver, other: *small mammals*

Fish: Bass, salmon, trout, herring, shellfish, other:

- B.5.b. List any threatened and endangered species known to be on or near the site.

There are no identified threatened or endangered animal species within or near the affected geographic area. The Washington Department of Fish and Wildlife’s Priority Habitat and Species (WDFW PHS) online mapping system was utilized to assess the presence of threatened and endangered species.

- B.5.c. Is the site part of a migration route? If so, explain.

The affected geographic area is within an identified winter migration route for elk per WDFW PHS online mapping.

- B.5.d. Proposed measures to preserve or enhance wildlife, if any:

Construction activities will be monitored to minimize erosion and air emissions resulting from earthwork and vehicle use.

- B.5.e. List any invasive animal species known to be on or near the site.

There are no known invasive animal species within or near the affected geographic area.

B.6. Energy and natural resources

- B.6.a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

Single family detached homes will require electrical energy for heating and lighting upon development.

- B.6.b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

This proposal will not impact the ability to utilize solar energy on adjacent properties.

- B.6.c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

The design of detached single family residences will meet current energy code requirements at the time of construction.

B.7. Environmental health

- B.7.a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

Environmental health hazards that are likely to be present during construction would include gasoline and diesel fuels, hydraulic fluids, oils, lubricants, and other chemical products associated with construction equipment. A spill of one of these chemicals could potentially occur during construction as a result of either equipment failure or worker error. The completed project will not result in environmental health hazards.

- 1) Describe any known or possible contamination at the site from present or past uses.

There is no known contamination present within the affected geographic area. The parcel has been used for limited agricultural activities, which makes it possible that contamination from pesticides or herbicides are present in the soil. Based on the primary agricultural use within the affected geographic area as grazing and pasture land, the potential for contamination is low.

- 2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

There are no known hazardous chemicals or conditions present within the affected geographic area that would impact future development. There are no identified hazardous pipelines within or near the affected geographic area, as assessed by utilizing the National Pipeline Mapping System.

- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

Environmental health hazards that are likely to be present during construction would include gasoline and diesel fuels, hydraulic fluids, oils, lubricants, and other chemical products associated with construction equipment.

- 4) Describe special emergency services that might be required.

This proposal will not result in the need for special emergency services.

- 5) Proposed measures to reduce or control environmental health hazards, if any:

Any soils contaminated by spills would be excavated and disposed of in a manner consistent with the level of contamination, in accordance with federal, state, and local regulatory requirements, by a qualified contractor(s).

B.7.b. Noise

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

The primary source of noise in the area of the proposal comes from traffic along Spiketown Road. Noise generated by vehicular traffic will not impact the proposal.

- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Noise and vibration levels in the vicinity of construction would temporarily increase during construction. Noise and vibration are expected to result from operation of trucks, excavators, and front end loaders. Long-term noise impacts will be typical of residential development and have minimal off-site impacts.

- 3) Proposed measures to reduce or control noise impacts, if any:

Construction activities will be limited to the allowable hours of 7am-8pm during the week and 8am-8pm during the weekend, pursuant to Buckley Municipal Code Section 8.30.020(2)(i).

B.8. Land and shoreline use

- B.8.a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

The subject property (parcel 0619101076) is vacant and undeveloped, with limited grazing/pasture use.

The current use of adjacent parcels varies. Adjacent parcels are listed starting from the northwest corner of the affected geographic area moving clockwise:

Parcel 0619101031: single family residential

- Parcel 0619101080: undeveloped, zoned Neighborhood Mixed-Use*
- Parcel 0619101074: undeveloped, zoned Neighborhood Mixed-Use*
- Parcel 0619101026: single family residential*
- Parcel 0619101068: general warehousing storage*
- Parcel 0619101077: single family residential with limited agricultural use*
- Parcel 0619102012: single family residential*
- Parcel 0619102014: single family residential*
- Parcel 0619106007: undeveloped, zoned R-6000*
- Parcel 0619106006: single family residential*
- Parcel 3352000320: single family residential*

B.8.b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?

The majority of the affected area is currently used for grazing and limited pasture use. The proposal for a rezone would not change the current use of the affected area until future development applications are approved. The subject properties have not been designated as agricultural, forest, or long-term commercially significant resource lands.

1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

No, the proposal will not be impacted by surrounding agricultural or forest land operations.

B.8.c. Describe any structures on the site.

There are no existing structures on the subject property.

B.8.d. Will any structures be demolished? If so, what?

Not applicable, there is no demolition component to this proposal.

B.8.e. What is the current zoning classification of the site?

The current zoning of the affected property is R-6000.

B.8.f. What is the current comprehensive plan designation of the site?

The comprehensive plan designation of the affected properties is Urban Lower Density, which corresponds to R-6000, R-8000, and R-20000 zoning districts.

B.8.g. If applicable, what is the current shoreline master program designation of

the site?

Not applicable, the proposal is not within a shoreline area.

- B.8.h. Has any part of the site been classified critical area by the city or county? If so, specify.

There are three delineated wetlands in the eastern portion of the affected geographic area, as identified by the Critical Areas Assessment Report prepared by Talasaea Consultants, Inc.

- B.8.i. Approximately how many people would reside or work in the completed project?

This proposal is for the construction of 63 detached single family homes. Based on the average family size of 2.54 people (as reported by the U.S. Census Bureau), approximately 160 people will reside in the completed project.

- B.8.j. Approximately how many people would the completed project displace?

Not applicable, the subject property is currently vacant.

- B.8.k. Proposed measures to avoid or reduce displacement impacts, if any:

No specific measures proposed, as the project would not result in the displacement of any individuals.

- B.8.l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

No specific measures proposed. The subject property is zoned R-6000, which allows for residential development at the proposed density. Parcels north of the site are designated in the comprehensive plan for Urban Higher Density uses, ensuring this development is consistent with the character of the surrounding community.

- B.8.m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any:

No specific measures are proposed. There are properties zoned as Agricultural Resources Land (ARL) in unincorporated Pierce County approximately 1,500 feet to the west which will not be impacted by this proposal.

B.9. Housing

- B.9.a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

The proposal includes the development of 63 market-rate detached single family homes.

B.9.b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

Not applicable, the subject property is currently vacant.

B.9.c. Proposed measures to reduce or control housing impacts, if any:

No specific measures are proposed.

B.10. Aesthetics

B.10.a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

Heights of the detached single family homes may vary upon development, but will be regulated by Buckley's Zoning Code. The maximum allowable height for structures in the R-6000 zoning district is 30 feet.

B.10.b. What views in the immediate vicinity would be altered or obstructed?

Upon complete build-out of the project site, the previously vacant parcel will be comprised of single family homes with associated landscaping. The eastern portion of the parcel will remain in its native state to preserve wetland areas.

B.10.c. Proposed measures to reduce or control aesthetic impacts, if any:

All single family development will conform to the development standards required in the R-6000 zones, as established by the Buckley Zoning Code.

B.11. Light and glare

B.11.a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

The proposal includes the installation of street lighting along the right-of-ways for all roadways. Street lighting will be utilized in the evening and light hours for safety purposes.

B.11.b. Could light or glare from the finished project be a safety hazard or interfere with views?

Lighting produced by the completed project will not be a safety hazard or interfere with views.

B.11.c. What existing offsite sources of light or glare may affect your proposal?

The only offsite sources of light or glare that will be visible within the affected geographic area are sourced from adjacent residential properties. It is not anticipated that offsite lighting will impact this proposal.

B.11.d. Proposed measures to reduce or control light and glare impacts, if any:

No specific measures are proposed.

B.12. Recreation

B.12.a. What designated and informal recreational opportunities are in the immediate vicinity?

The Foothills Trail is approximately 1/2 mile to the northwest of the affected geographic area. A skate park and community center are located adjacent to the Foothills Trail and SR 410.

B.12.b. Would the proposed project displace any existing recreational uses? If so, describe.

The proposal will not displace any existing recreational uses.

B.12.c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

This proposal includes a pedestrian path that provides access to a passive recreation area located between wetland buffers in the eastern portion of the site. Access to the pedestrian path will be provided for all residents through Tracts B and C, which allow east-to-west access through the subdivision.

B.13. Historic and cultural preservation

B.13.a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe.

The residential home on the adjacent parcel to the south (0619101077) was constructed in 1900. According to Washington Information System for Architectural and Archaeological Records Data (WISAARD) online mapping system, it is not listed in the Historic Property Inventory.

B.13.b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation. This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

There is no evidence of Indian or historic landmarks, features, or occupation on or within the vicinity of the affected geographic area.

B.13.c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

The Washington Information System for Architectural and Archaeological Records Data (WISAARD) online mapping system was utilized to assess potential impacts to cultural and historic resources on and near the affected geographic area. No historic register properties were mapped in the vicinity.

- B.13.d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

If archaeological or cultural resources are discovered during construction activities, all local disturbances will be halted until appropriate agencies are notified and brought onto the project site.

B.14. Transportation

- B.14.a. Identify public streets and highways serving the site or affected geographic area, and describe proposed access to the existing street system. Show on site plans, if any.

The affected geographic area is served by Spiketon Road, which extends along the entire western boundary. Access to the site will be provided by a new local road extending into the site from Spiketon Road.

- B.14.b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

The affected geographic area is not served by public transit. There are no public transit systems within the City of Buckley.

- B.14.c. How many additional parking spaces would the completed project or nonproject proposal have? How many would the project or proposal eliminate?

The proposal will not create any dedicated parking spaces. All parking associated with the proposal will be provided at the time of development of the detached single family homes. As the site is currently vacant, there will be no existing parking spaces eliminated.

- B.14.d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

Spiketon Road will receive half-street improvements along the frontage of the parcel, including the installation of curbs, gutter, and sidewalk. The development includes a new north-south collector arterial that will eventually connect through adjacent properties to Tanner Avenue to the south and to Ryan Road (via Bevlo Street) to the north. Secondary emergency-vehicle only access will be provided to Bevlo Street, or if easements are not able to be obtained, through Tract C to Spiketon Road.

B.14.e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

The affected geographic area is not in the immediate vicinity of water, rail, or air transportation.

B.14.f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates?

The completed project would generate 600 average daily trips. During the AM peak hour approximately 47 trips would be expected into and out of the site, while 63 trips are expected during the PM peak hour. Trip generation data was obtained from the Institute of Transportation Engineer's Trip Generation, Ninth Edition. The designated land use for this project is defined as Single Family Detached Housing (LUC 210).

B.14.g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

The proposal will not impact, nor be affected by, the transportation of agricultural or forest products.

B.14.h. Proposed measures to reduce or control transportation impacts, if any:

The project will pay traffic impact fees as required by the City.

B.15. Public services

B.15.a. Would the project result in an increased need for public services (for example: Fire protection, police protection, public transit health care, schools, other)? If so, generally describe.

This proposal includes the development of 63 detached single family residential units, which will require additional fire and police protection than what is currently serving the vacant property. The addition of residential units will also increase the number of enrolled students in the local school district.

B.15.b. Proposed measures to reduce or control direct impacts on public services, if any.

Site access has been designed to meet the requirements of the International Fire Code.

B.16. Utilities

B.16.a.

B.16.b. Circle utilities currently available at the site. Electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

B.16.c. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

The following utilities will be provided on-site:

- Electricity – Puget Sound Energy*
- Water and Sewer – City of Buckley*
- Telephone – Centurylink*
- Natural Gas – Puget Sound Energy*

C. SIGNATURE

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Spätk
Signature

Feb. 29, 2016
Date Submitted